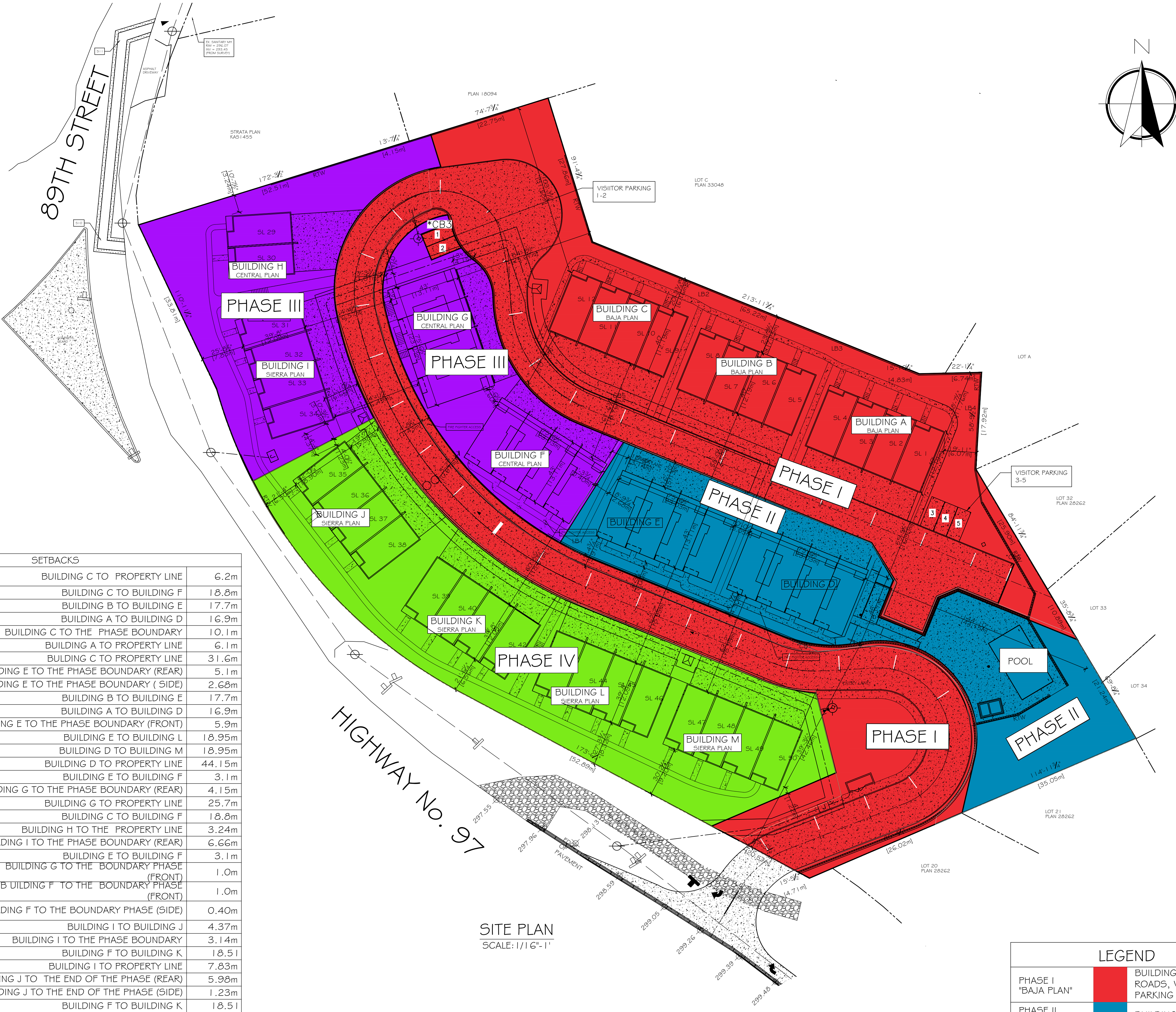




SETBACKS			
PHASE I	NORTH	BUILDING C TO PROPERTY LINE	6.2m
	SOUTH	BUILDING C TO BUILDING F	18.8m
		BUILDING B TO BUILDING E	17.7m
		BUILDING A TO BUILDING D	16.9m
	EAST	BUILDING C TO THE PHASE BOUNDARY	10.1m
	WEST	BUILDING A TO PROPERTY LINE	6.1m
PHASE II	NORTH	BUILDING C TO PROPERTY LINE	31.6m
		BUILDING E TO THE PHASE BOUNDARY (REAR)	5.1m
		BUILDING E TO THE PHASE BOUNDARY (SIDE)	2.68m
		BUILDING B TO BUILDING E	17.7m
	SOUTH	BUILDING A TO BUILDING D	16.9m
		BUILDING E TO THE PHASE BOUNDARY (FRONT)	5.9m
		BUILDING E TO BUILDING L	18.95m
		BUILDING D TO BUILDING M	18.95m
	EAST	BUILDING D TO PROPERTY LINE	44.15m
WEST	BUILDING E TO BUILDING F	3.1m	
PHASE III	NORTH	BUILDING G TO THE PHASE BOUNDARY (REAR)	4.15m
		BUILDING G TO PROPERTY LINE	25.7m
		BUILDING C TO BUILDING F	18.8m
		BUILDING H TO THE PROPERTY LINE	3.24m
	EAST	BUILDING I TO THE PHASE BOUNDARY (REAR)	6.66m
		BUILDING E TO BUILDING F	3.1m
		BUILDING G TO THE BOUNDARY PHASE (FRONT)	1.0m
	SOUTH	BUILDING F TO THE BOUNDARY PHASE (FRONT)	1.0m
		BUILDING F TO THE BOUNDARY PHASE (SIDE)	0.40m
		BUILDING I TO BUILDING J	4.37m
BUILDING I TO THE PHASE BOUNDARY		3.14m	
PHASE IV	WEST	BUILDING F TO BUILDING K	18.51m
		BUILDING I TO PROPERTY LINE	7.83m
		BUILDING J TO THE END OF THE PHASE (REAR)	5.98m
	NORTH	BUILDING J TO THE END OF THE PHASE (SIDE)	1.23m
		BUILDING F TO BUILDING K	18.51m
		BUILDING E TO BUILDING L	18.95m
		BUILDING D TO BUILDING M	18.95m
	SOUTH	BUILDING J TO PROPERTY LINE	6.50m
		BUILDING K TO PROPERTY LINE	6.56m
		BUILDING L TO PROPERTY LINE	8.32m
		BUILDING M TO PROPERTY LINE	9.20m
		BUILDING M TO THE BOUNDARY PHASE	1.22m
WEST	BUILDING I TO BUILDING J	4.37m	

SITE PLAN
SCALE: 1/16" = 1'

LEGEND		
PHASE I "BAJA PLAN"	[Red Box]	BUILDINGS A, B, C, ROADS, VISITOR PARKING 1-5
PHASE II "CENTRAL PLAN"	[Blue Box]	BUILDINGS D, E, POOL
PHASE III "SIERRA PLAN"	[Purple Box]	BUILDINGS F, G, H, I
PHASE IV "SIERRA PLAN"	[Green Box]	BUILDINGS J, K, L, M

GENERAL NOTES

- ALL WORK TO CONFORM TO CURRENT BCBC REQUIREMENTS
- DO NOT SCALE DRAWINGS
- CONTRACTOR TO REVIEW ALL DRAWINGS AND REPORT ANY DISCREPANCIES AND ERRORS TO DESIGNER PRIOR TO CONSTRUCTION
- ALL WORK TO CONFORM TO ACCEPTED INDUSTRY STANDARDS. ANY UNACCEPTABLE WORK TO BE REPAIRED TO AGREED UPON STANDARD
- OWNER/BUILDER TO ENSURE ALL REQUIRED INSURANCES AND WORK SAFE BC CONFORMANCE ARE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION
- ALL DIMENSIONS TO BE CONFIRMED ONSITE

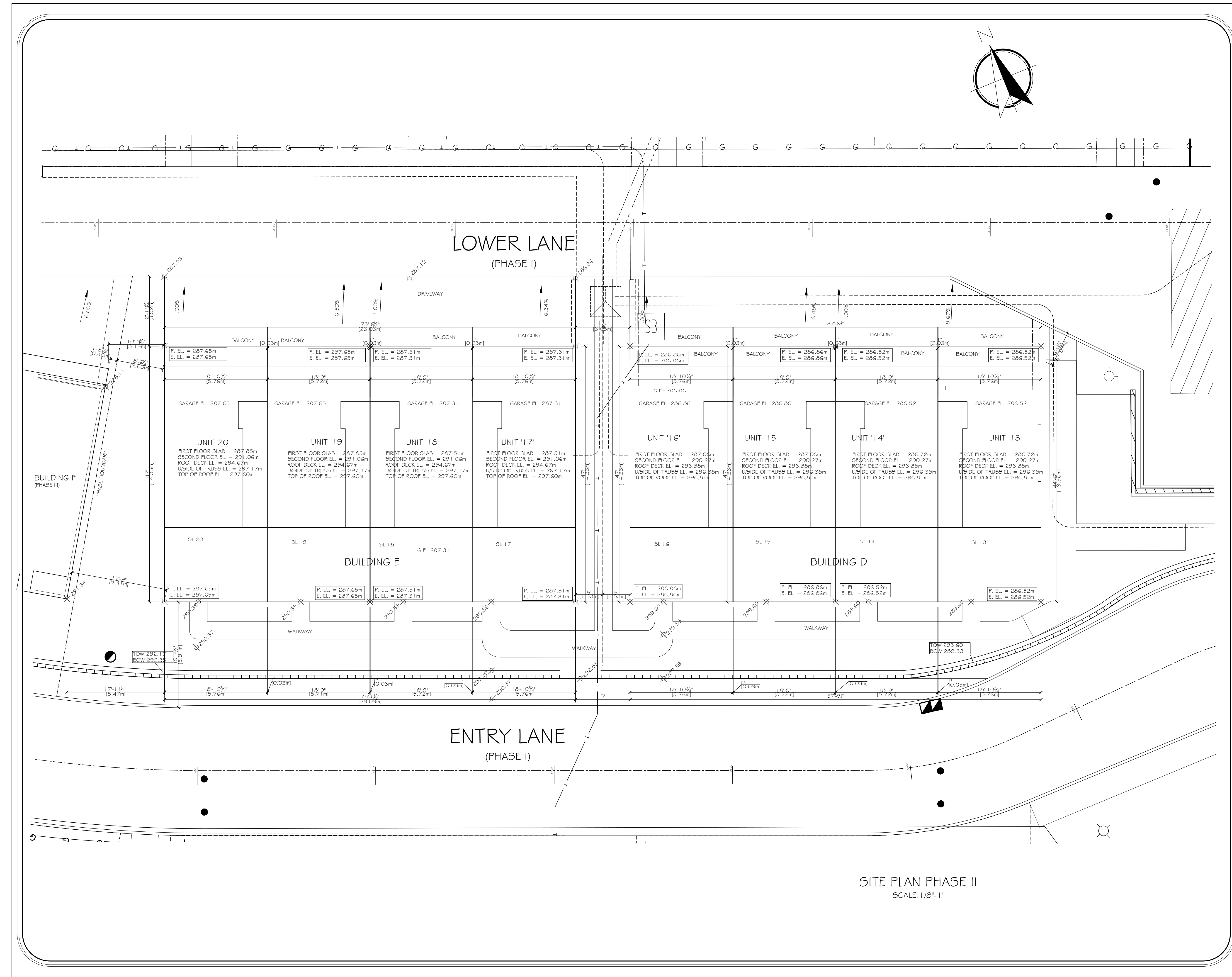
THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2024.

TOORA HOME PLANS

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EMAIL: toorahomes@gmail.com

PHASE II 'CENTRAL PLANS'
4601 HWY 97
OSOYOOS, B.C.

TITLE:	SITE PLAN	AI		
SCALE:	1/16" = 1'		DESIGNER:	RAJ TOORA
DATE:	JULY 29, 2026		DRAWN BY:	



GENERAL NOTES

- ALL WORK TO CONFORM TO CURRENT BCBC REQUIREMENTS
- DO NOT SCALE DRAWINGS
- CONTRACTOR TO REVIEW ALL DRAWINGS AND REPORT ANY DISCREPANCIES AND ERRORS TO DESIGNER PRIOR TO CONSTRUCTION
- ALL WORK TO CONFORM TO ACCEPTED INDUSTRY STANDARDS. ANY UNACCEPTABLE WORK TO BE REPAIRED TO AGREED UPON STANDARD
- OWNER/BUILDER TO ENSURE ALL REQUIRED INSURANCES AND WORK SAFE BC CONFORMANCE ARE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION
- ALL DIMENSIONS TO BE CONFIRMED ONSITE



THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2024.

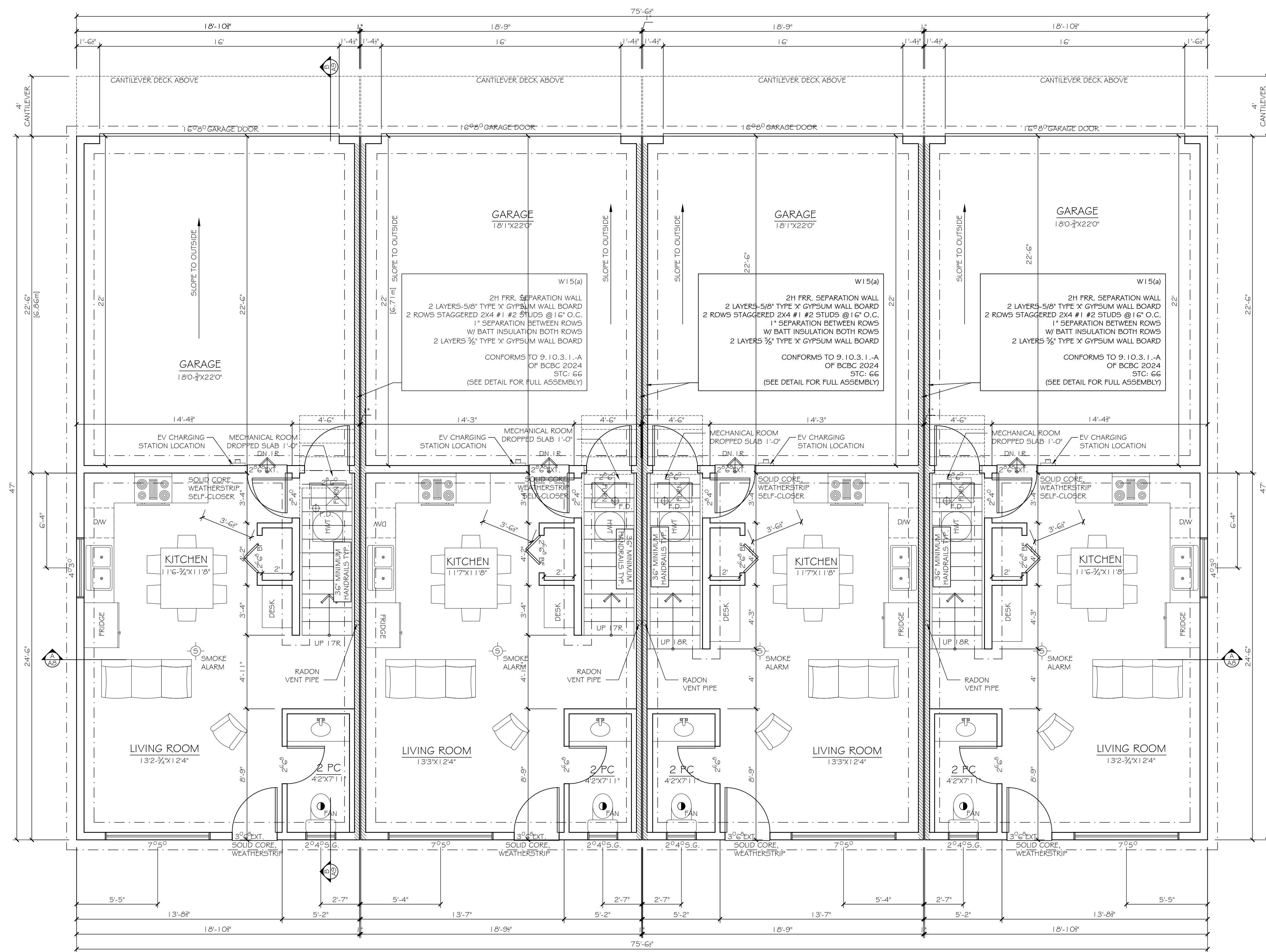
TOORA HOME PLANS

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PHASE II 'CENTRAL PLANS'
4601 HWY 97
OSOYOOS, B.C.

TITLE:	SITE PLAN	
SCALE:	1/16" = 1'	DESIGNER: RAJ TOORA
DATE:	JULY 29, 2026	DRAWN BY:

Aib



1ST FLOOR 'UNIT 16'
SCALE: 1/4" = 1'

NET FLOOR AREA	463 SQ. FT.
GARAGE AREA	425 SQ. FT.
GROSS FLOOR AREA	888 SQ. FT.

1ST FLOOR 'UNIT 15'
SCALE: 1/4" = 1'

NET FLOOR AREA	459 SQ. FT.
GARAGE AREA	422 SQ. FT.
GROSS FLOOR AREA	881 SQ. FT.

1ST FLOOR 'UNIT 14'
SCALE: 1/4" = 1'

NET FLOOR AREA	459 SQ. FT.
GARAGE AREA	422 SQ. FT.
GROSS FLOOR AREA	881 SQ. FT.

1ST FLOOR 'UNIT 13'
SCALE: 1/4" = 1'

NET FLOOR AREA	463 SQ. FT.
GARAGE AREA	425 SQ. FT.
GROSS FLOOR AREA	888 SQ. FT.

BUILDING D



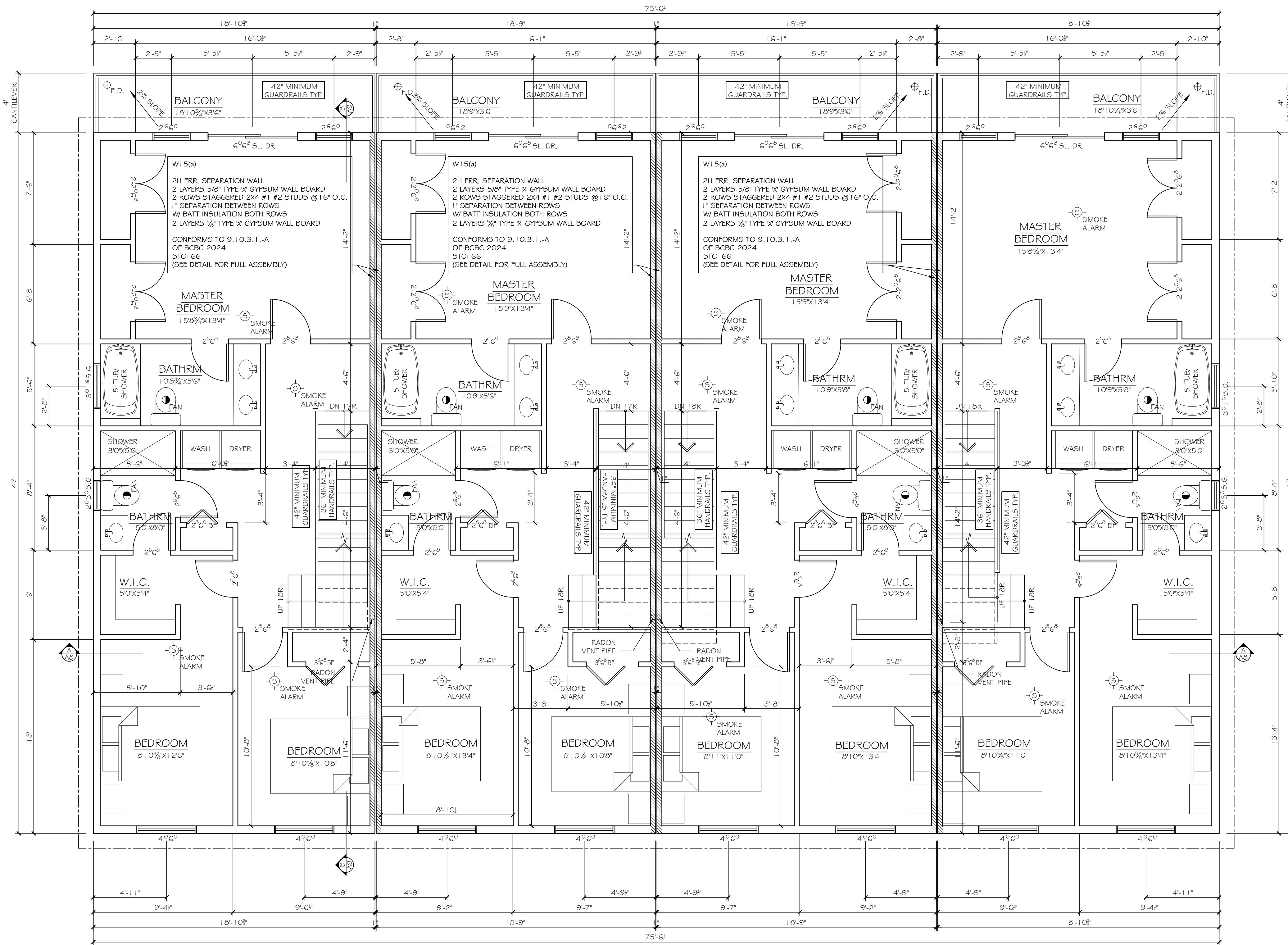
THESE PLANS CONFORM TO REQUIREMENTS IN THE
B.C. BUILDING CODE 2024.

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FAX: (604) 951-4373 12968 - 107th AVE
EMAIL: toorahomes@gmail.com SURREY, B.C. V3T 2E9

BUILDING 'D' 'CENTRAL' 4-PLEX
4601 HWY 97
OSOYOOS, B.C.

TITLE:	1ST FLOOR PLAN			A2
SCALE:	1/4"=1'	DESIGNER:	RAJ TOORA	
DATE:	JULY 29, 2026	DRAWN BY:		



2ND FLOOR 'UNIT 16'
SCALE: 1/4"=1'

GROSS FLOOR AREA	888 SQ. FT.
OPEN LESS AREA	60 SQ. FT.
NET FLOOR AREA	829 SQ. FT.
BALCONY AREA	66 SQ. FT.

2ND FLOOR 'UNIT 15'
SCALE: 1/4"=1'

GROSS FLOOR AREA	881 SQ. FT.
OPEN LESS AREA	60 SQ. FT.
NET FLOOR AREA	822 SQ. FT.
BALCONY AREA	66 SQ. FT.

2ND FLOOR 'UNIT 14'
SCALE: 1/4"=1'

GROSS FLOOR AREA	881 SQ. FT.
OPEN LESS AREA	60 SQ. FT.
NET FLOOR AREA	822 SQ. FT.
BALCONY AREA	66 SQ. FT.

2ND FLOOR 'UNIT 13'
SCALE: 1/4"=1'

GROSS FLOOR AREA	888 SQ. FT.
OPEN LESS AREA	60 SQ. FT.
NET FLOOR AREA	829 SQ. FT.
BALCONY AREA	66 SQ. FT.

BUILDING D



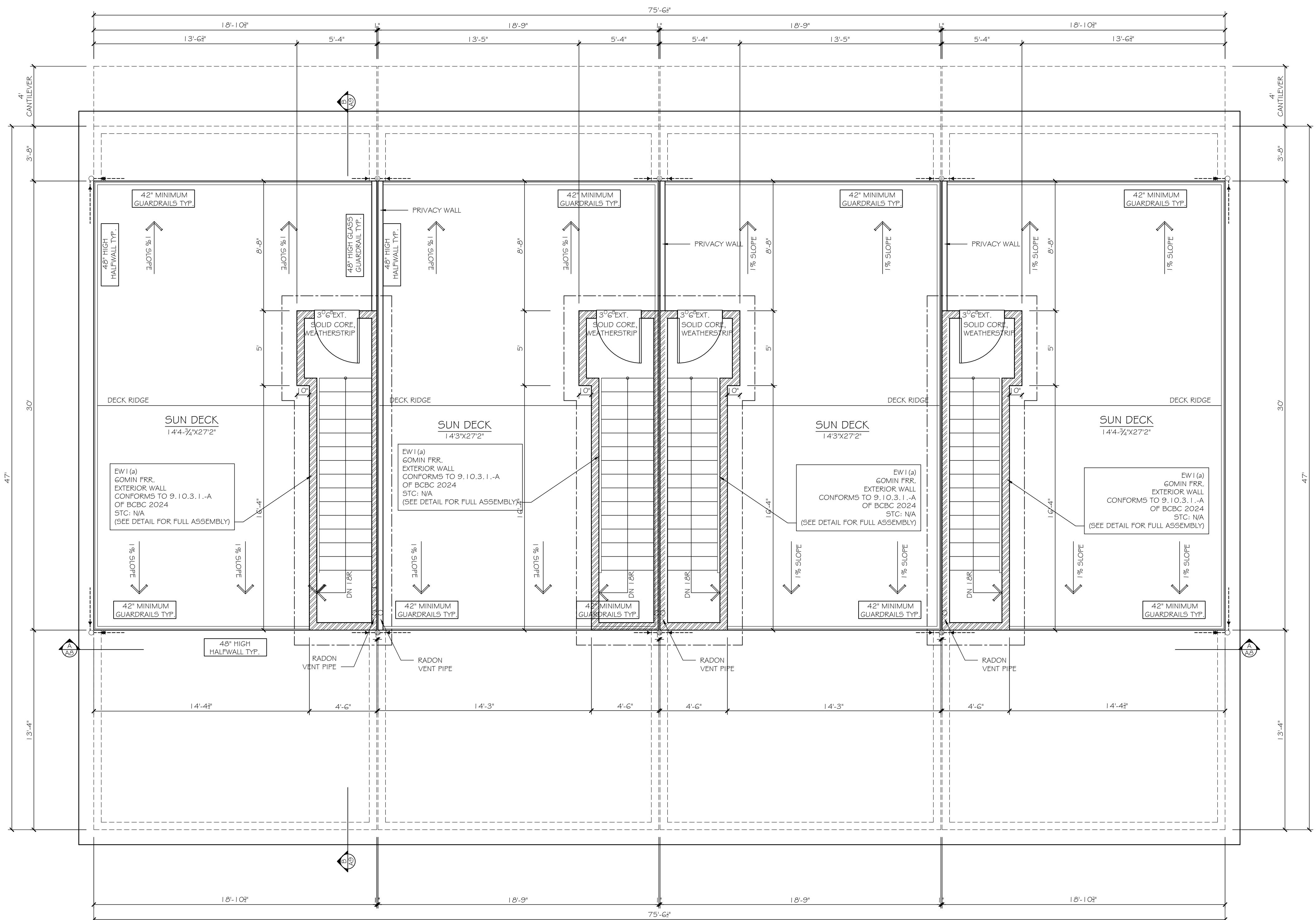
THESE PLANS CONFORM TO REQUIREMENTS IN THE
B.C. BUILDING CODE 2024.

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BUILDING 'D' 'CENTRAL' 4-PLEX
4601 HWY 97
OSOYOOS, B.C.

TITLE:	2ND FLOOR PLAN		
SCALE:	1/4"=1'	DESIGNER:	RAJ TOORA
DATE:	JULY 29, 2026	DRAWN BY:	



3RD FLOOR 'UNIT 16'
SCALE: 1/4" = 1'
GROSS FLOOR AREA 108 SQ. FT.
SUNDECK AREA 405 SQ. FT.

3RD FLOOR 'UNIT 15'
SCALE: 1/4" = 1'
GROSS FLOOR AREA 108 SQ. FT.
SUNDECK AREA 401 SQ. FT.

3RD FLOOR 'UNIT 14'
SCALE: 1/4" = 1'
GROSS FLOOR AREA 108 SQ. FT.
SUNDECK AREA 401 SQ. FT.

3RD FLOOR 'UNIT 13'
SCALE: 1/4" = 1'
GROSS FLOOR AREA 108 SQ. FT.
SUNDECK AREA 405 SQ. FT.

BUILDING D



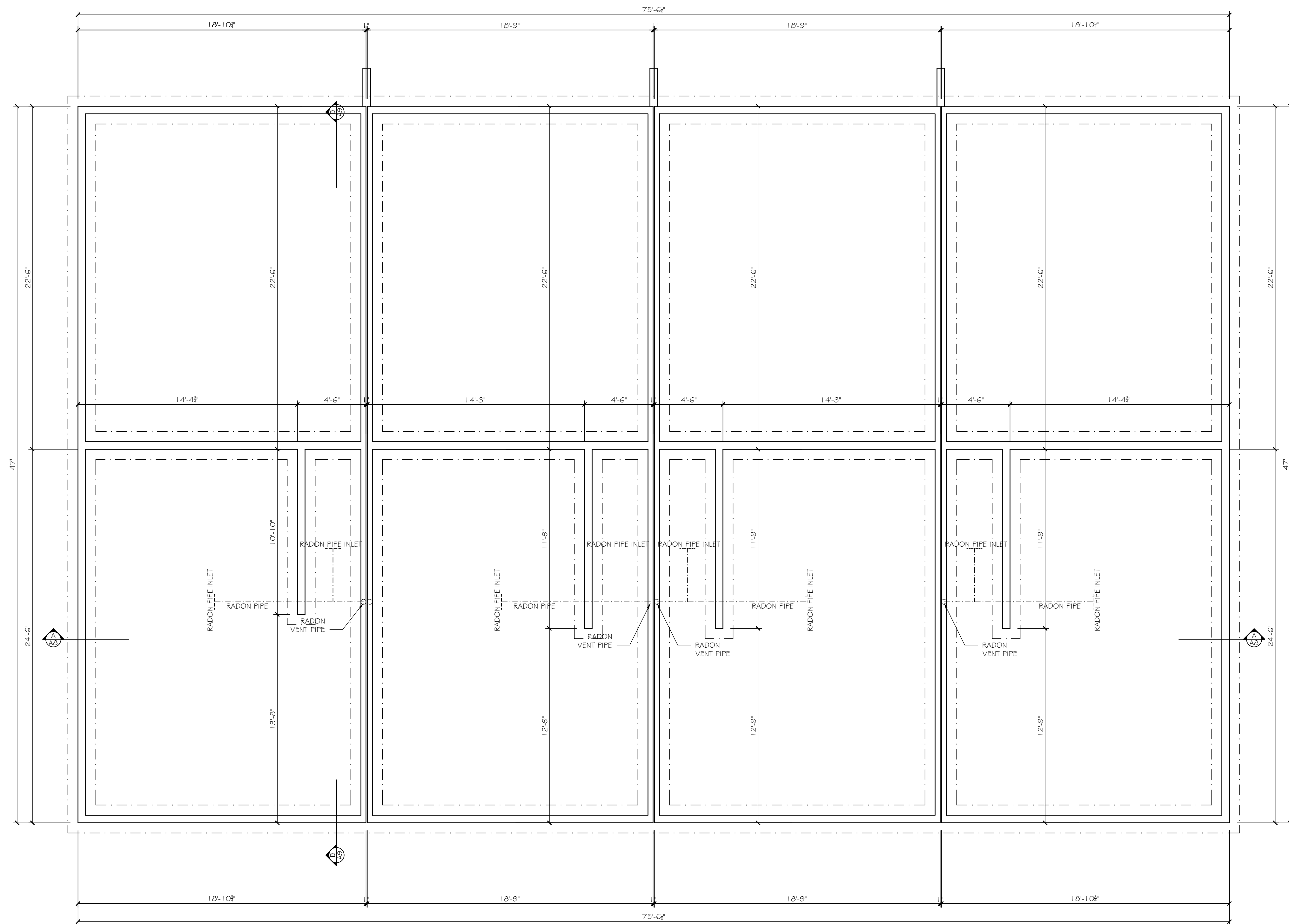
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BUILDING 'D' 'CENTRAL' 4-PLEX
4601 HWY 97
O5OYO05, B.C.

TITLE:	ROOF DECK PLAN			A4
SCALE:	1/4" = 1'	DESIGNER:	RAJ TOORA	
DATE:	JULY 29, 2026	DRAWN BY:		



FOUNDATION 'UNIT 16'
SCALE: 1/4" = 1'

FOUNDATION 'UNIT 15'
SCALE: 1/4" = 1'

FOUNDATION 'UNIT 14'
SCALE: 1/4" = 1'

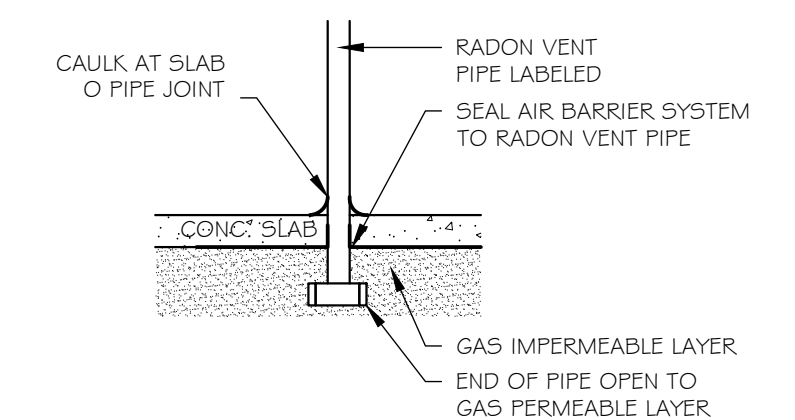
FOUNDATION 'UNIT 13'
SCALE: 1/4" = 1'

BUILDING D

RADON CONTROL FOR PART 9 BUILDINGS 2024

9.1.3.4.3. (3)(b)- RADON PIPE
A RADON VENT PIPE NOT LESS THAN 100MM IN DIAMETER THAT IS
CONSTRUCTED SO AS TO BE AIR-TIGHT AND INSTALLED THROUGH THE
FLOOR-ON-GROUND SUCH THAT

- IT OPENS INTO EACH CONTIGUOUS AREA OF THE GRANULAR LAYER REQUIRED BY CLAUSE (a) AND NOT LESS THAN 100MM OF GRANULAR MATERIAL PROJECTS BEYOND THE TERMINUS OF THE PIPE MEASURED ALONG ITS AXIS (SEE A-9.1.3.4.3 (2)(b)(i) AND (3)(b)(i)) IN APPENDIX A;
- IT TERMINATES NOT LESS THAN 1 M ABOVE AND NOT LESS THAN 3.5 M IN ANY OTHER DIRECTION FROM ANY AIR INLET, DOOR OR OPENABLE WINDOW;
- IT TERMINATES NOT LESS THAN 2M ABOVE AND NOT LESS THAN 3.5M IN ANY OTHER DIRECTION FROM A ROOF THAT SUPPORTS AN OCCUPANCY;
- IT TERMINATES NOT LESS THAN 1.6M FROM A PROPERTY LINE;
- IT IS SHIELDED FROM THE WEATHER IN ACCORDANCE WITH SENTENCE 6.2.3.1.2.(3);
- IT IS PROTECTED FROM FROST CLOSURE BY INSULATING THE PIPE OR BY SOME OTHER MANNER, IF SUBJECT TO FROST CLOSURE;
- THE ACCUMULATION OF MOISTURE IN THE PIPE IS PREVENT; AND
- IT IS CLEARLY LABELLED "RADON VENT PIPE" EVERY 1.6M AND AT EVERY CHANGE IN DIRECTION.



RADON CONTROL DETAIL

SCALE: 1/2" = 1'
AS PER BCB09.13.4.3 (3)(b)



THESE PLANS CONFORM TO REQUIREMENTS IN THE
B.C. BUILDING CODE 2024.

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BUILDING 'D' 'CENTRAL' 4-PLEX
4601 HWY 97
OSOY005, B.C.

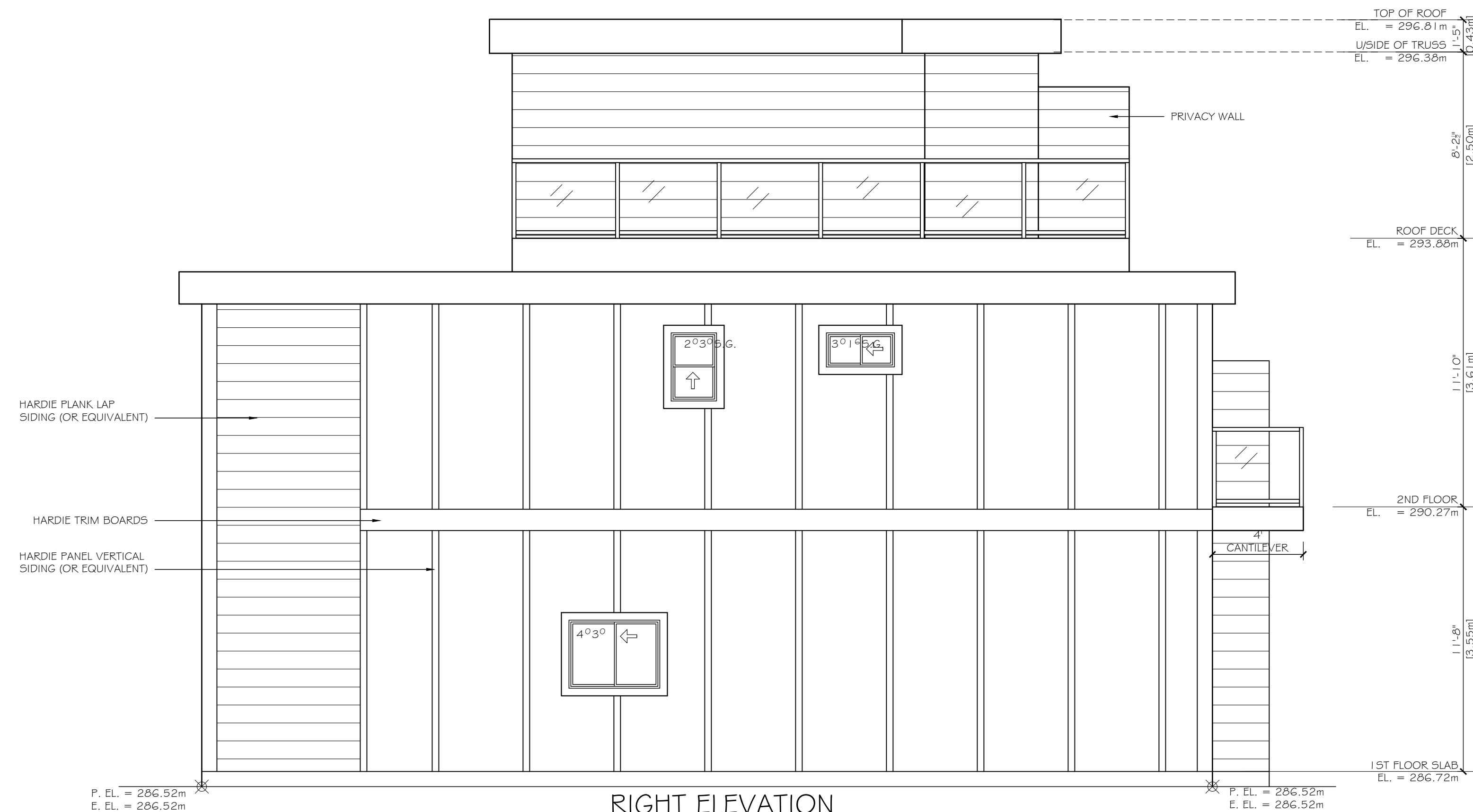
TITLE:	RADON VENT PLAN			A5
SCALE:	1/4"=1'	DESIGNER:	RAJ TOORA	
DATE:	JULY 29, 2026	DRAWN BY:		



UNIT '16' UNIT '15' UNIT '14' UNIT '13'

FRONT ELEVATION

SCALE: 1/4" = 1'



RIGHT ELEVATION

SCALE: 1/4" = 1'

BUILDING D



THESE PLANS CONFORM TO REQUIREMENTS IN THE
B.C. BUILDING CODE 2024.

TOORA HOME PLANS

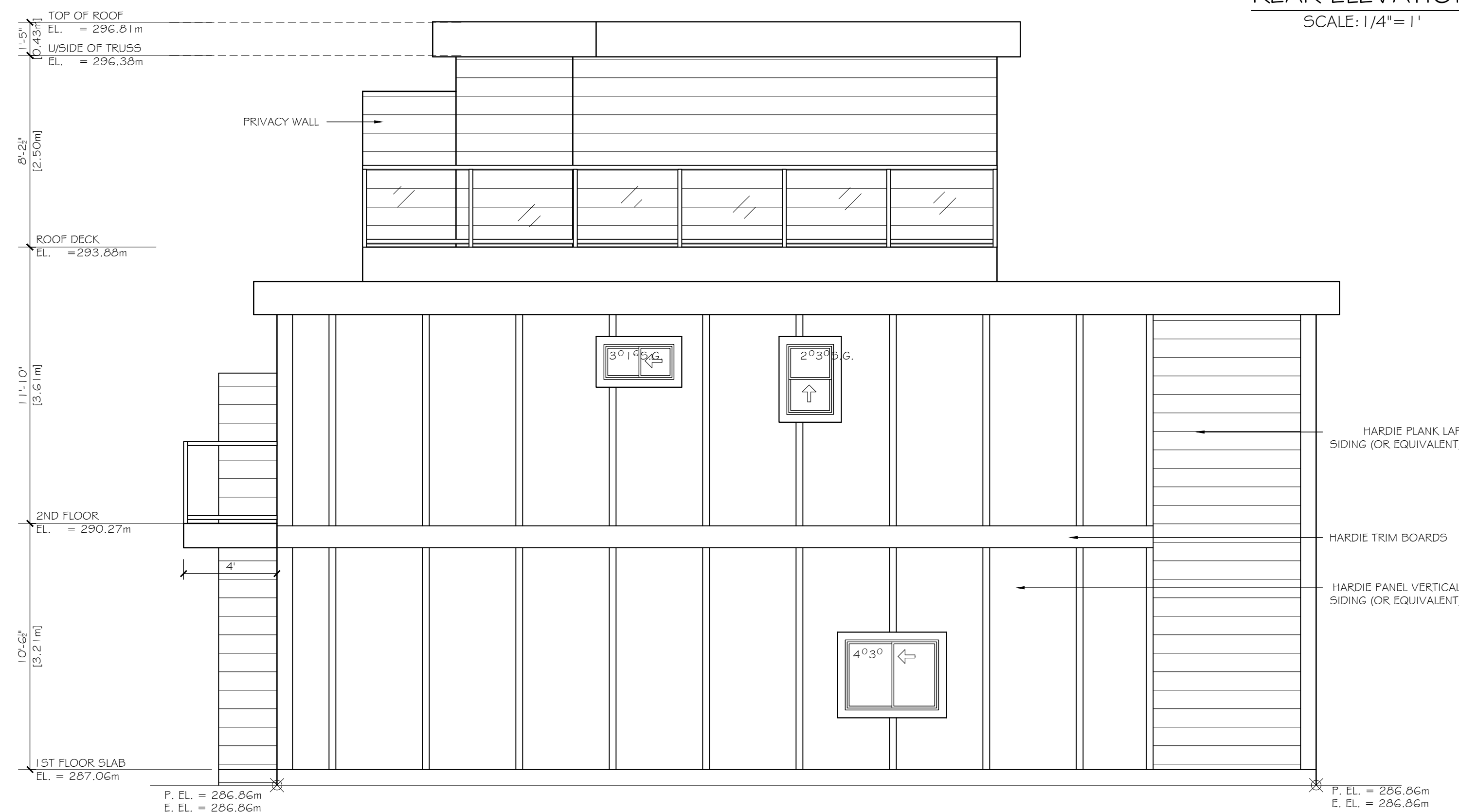
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FAX: (604) 951-4373 12968 - 107th AVE
EMAIL: toorahomes@gmail.com SURREY, B.C. V3T 2E9

BUILDING 'D' 'CENTRAL' 4-PLEX
4601 HWY 97
OSOYOOS, B.C.

TITLE:	ELEVATIONS			A6
SCALE:	1/4"=1'	DESIGNER:	RAJ TOORA	
DATE:	JULY 29, 2026	DRAWN BY:		



REAR ELEVATION
SCALE: 1/4"= 1'



LEFT ELEVATION
(FACING BUILDING E)
SCALE: 1/4"= 1'

LIMITING DISTANCE	1.525m
TOTAL EXPOSED WALL AREA	946 SQ. FT.
PERMITTED OPENING (8.06%)	76 SQ. FT.
PROPOSED OPENING	22.5 SQ. FT.

BUILDING D



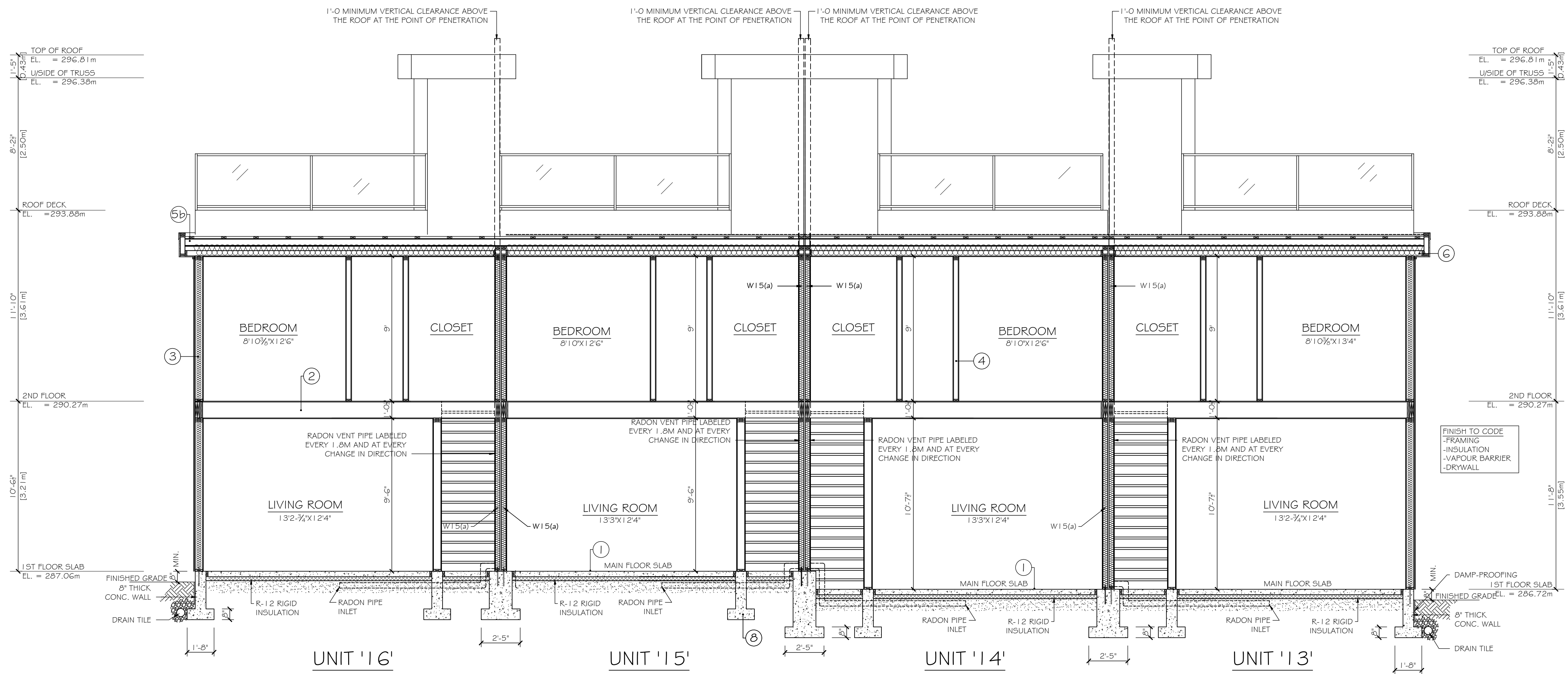
THESE PLANS CONFORM TO REQUIREMENTS IN THE
B.C. BUILDING CODE 2024.

TOORA HOME PLANS

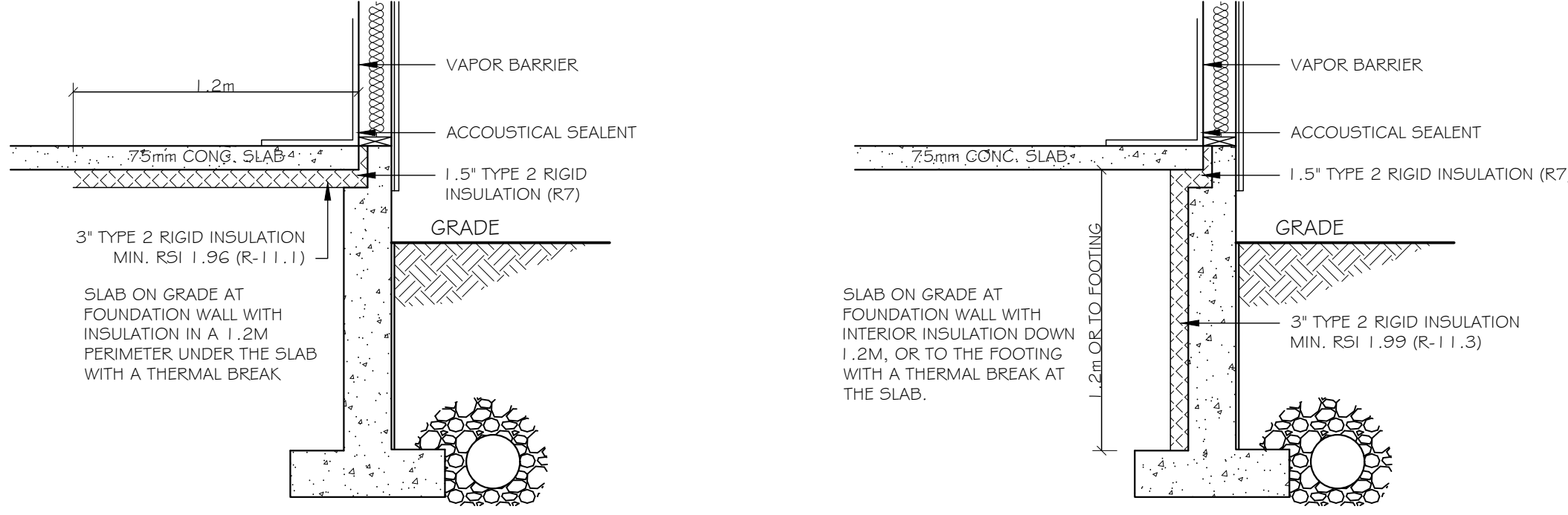
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EMAIL: toorahomes@gmail.com SURREY, B.C. V3T 2E9

BUILDING 'D' 'CENTRAL' 4-PLEX
4601 HWY 97
OSOYOOS, B.C.

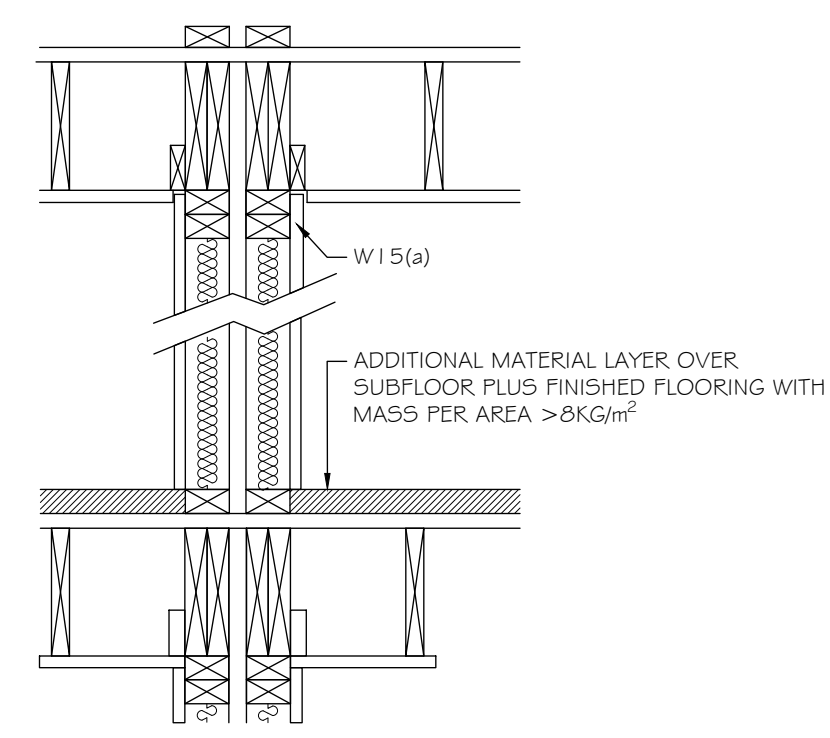
TITLE:	ELEVATIONS			A7
SCALE:	1/4"=1'	DESIGNER:	RAJ TOORA	
DATE:	JULY 29, 2026	DRAWN BY:		



SECTION A-A
SCALE: 1/4" = 1'



INSULATION OF UNHEATED AND HEATED SLABS
ABOVE THE FROST LINE
SCALE: 1/2" = 1'
AS PER BCBC 9.36 LATEST REVISION WITH NO HEAT RECOVERY VENTILATOR



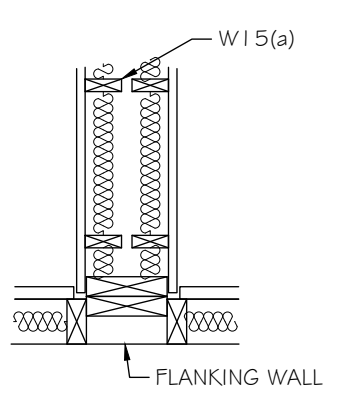
TOP JUNCTION
as per Table A-9.1.1.1.4.-A of B.C.B.C.

WOOD JOISTS, WOOD I-JOISTS OR WOOD TRUSSES ARE ORIENTED PERPENDICULAR OR PARALLEL TO SEPARATING WALL, WITH OR WITHOUT ABSORPTIVE MATERIAL IN CAVITIES.

- JOIST FRAMING AT JUNCTION IS SUPPORTED ON NEAR LEAF OF SEPARATING WALL.
- GYPSUM BOARD CEILING PANELS END AT WALL FRAMING AND ARE FASTENED DIRECTLY TO BOTTOM OF CEILING FRAMING OR ON RESILIENT METAL CHANNELS.

BOTTOM JUNCTION
as per Table A-9.1.1.1.4.-A of B.C.B.C.

- SUBFLOOR ON BOTH SIDES OF WALL IS PLYWOOD, OSB, WAFERBOARD (15.5MM THICK) OR TONGUE AND GROOVE LUMBER (17 MM THICK).
- FLOOR IS FRAMED WITH WOOD JOISTS, WOOD I-JOISTS OR WOOD TRUSSES SPACED ≥ 400 MM O.C., WITH OR WITHOUT ABSORPTIVE MATERIAL (2) IN CAVITIES.
- FLOOR JOISTS OR TRUSSES ARE ORIENTED PARALLEL TO SEPARATING WALL (NONLOADBEARING OR PERPENDICULAR TO SEPARATING WALL BUT ARE NOT CONTINUOUS ACROSS JUNCTION (LOADBEARING CASE) NEAR LEAF OF SEPARATING WALL IS SUPPORTED ON "DESIGNATED" JOIST.

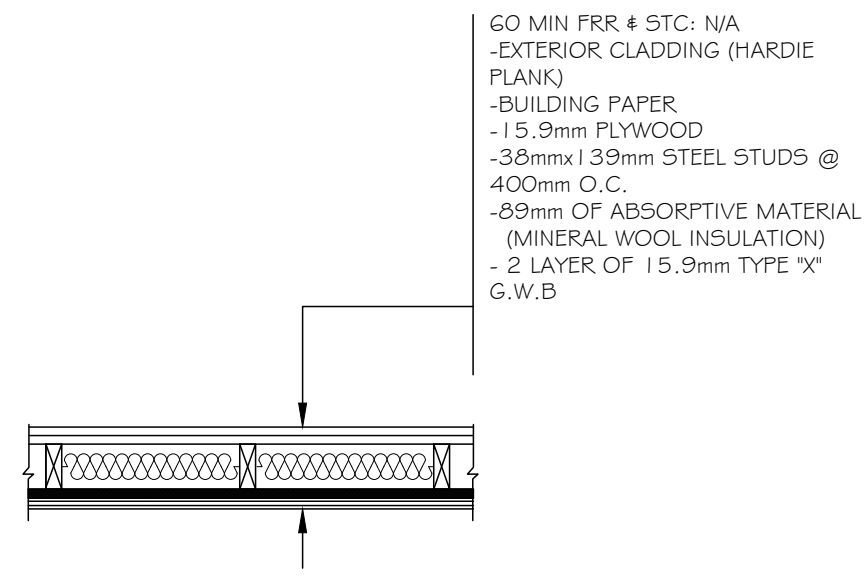


SIDE JUNCTION
as per Table A-9.1.1.1.4.-A of B.C.B.C.

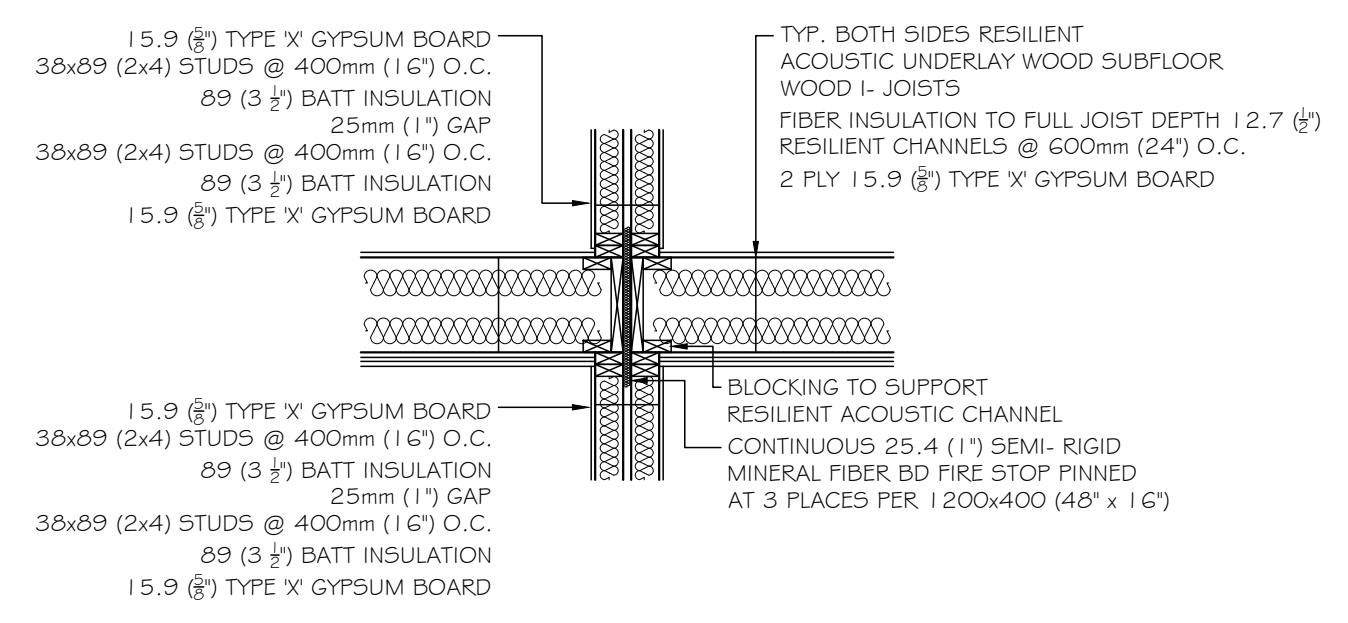
FLANKING WALL FRAMING IS FASTENED TO ADJACENT LEAF OF SEPARATING WALL.

FLANKING WALL IS FRAMED WITH SINGLE ROW OF WOOD STUDS, STAGGERED STUDS ON A SINGLE 38 MM x 140 MM PLATE, OR 2 ROW OF 38 MM x 89 MM WOOD STUDS ON SEPARATE 38 MM x 89 MM PLATES, WITH OR WITHOUT ABSORPTIVE MATERIAL. IN CAVITIES.

GYPSUM BOARD PANELS ON FLANKING WALLS ENDS OR IS CUT AFRAMING OF SEPARATING WALL AND IS FASTENED ON RESILIENT METAL CHANNELS OR DIRECTLY TO FRAMING OF FLANKING WALL IF THAT FRAMING AND ANY SHEATHING ARE NOT CONTINUOUS ACROSS THE JUNCTION.



EXTERIOR WALL- DETAIL
SCALE: 1/2" = 1'



PARTY WALL- DETAIL C
SCALE: 1/2" = 1'

CONSTRUCTION SPECIFICATIONS	
1	BASEMENT FLOOR SLAB -4" CONC. SLAB -6"x6" WELDED WIRE MESH -6 MIL. POLY VAPOR BARRIER -6" MIN. COMPACTED SAND (TYP.)
2	2ND FLOOR -1" 3" CONC. TOPPING -5/8" T&G PLYWOOD SUBFLOOR GLUED & SCREWED -1" 1-7/8" TJI FL. JST. @ 16" O/C (U.N.O.) -2x2 CROSS-BRIDGING @ 7" O/C MAX. -1/2" G.W.B.
3	EXTERIOR WALLS -HARDIE -2 LAYERS 30 MIL. BUILDING PAPER -3/4" AIR GAP -PRE-PAINTED METAL FLASHING -1/2" EXT. GRADE PLYWOOD SHEATHING -2X6 STUDS @ 16" o/c (U.N.O.) -R22 BATT INSULATION -6 MIL. POLY VAPOR BARRIER -1/2" G.W.B.
4	INTERIOR PARTITIONS -1/2" G.W.B. BOTH SIDES (U.N.O.) -2X4 STUDS @ 16" O/C (U.N.O.)
5b	FLAT ROOF -TORCH-ON ROOF -BUILDING PAPER -5/8" T&G PLYWOOD SHEATHING -1/4" CROSS FURLING -PRE-ENGINEERED TRUSSES @ 24" O/C (SEE TRUSS LAYOUT) -R3 I BATT INSULATION -6MIL. POLY VAPOR BARRIER -5/8" G.W.B.
6	EAVES -INTEGRAL GUTTER SYSTEM -2x10 FASCIA BOARD -2x4 BACK NAILER -METAL SOFFIT WITH 2" CONT. SCREEN VENT
7	ATTIC VENTILATION -2" BAFFLE CLEARANCE WITH INSULATION STOPS
8	FOUNDATION -SEE FOUNDATION DETAIL



THESE PLANS CONFORM TO REQUIREMENTS IN THE
B.C. BUILDING CODE 2024.

TOORA HOME PLANS

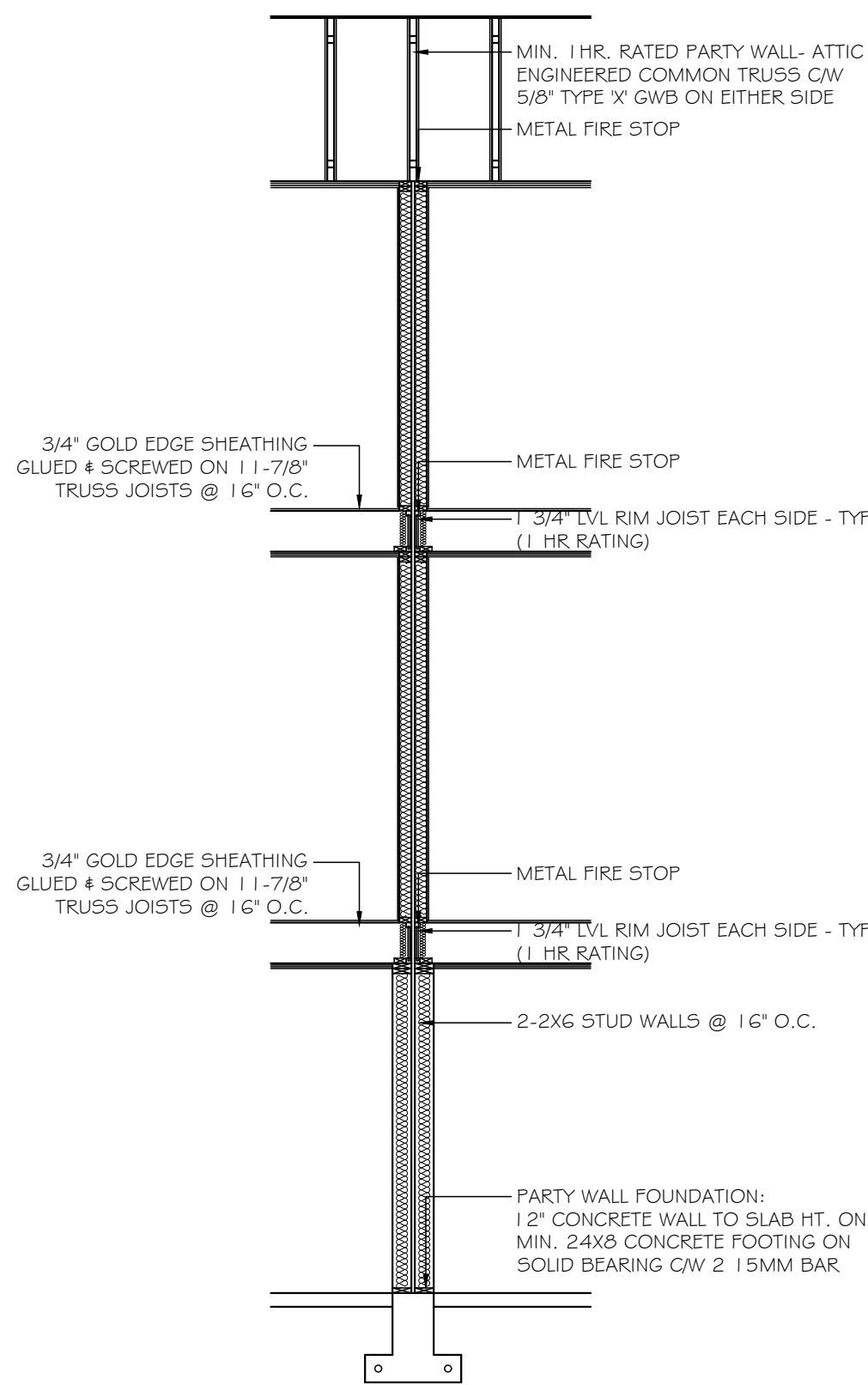
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BUILDING 'D' 'CENTRAL' 4-PLEX
4601 HWY 97
Osoyoos, B.C.

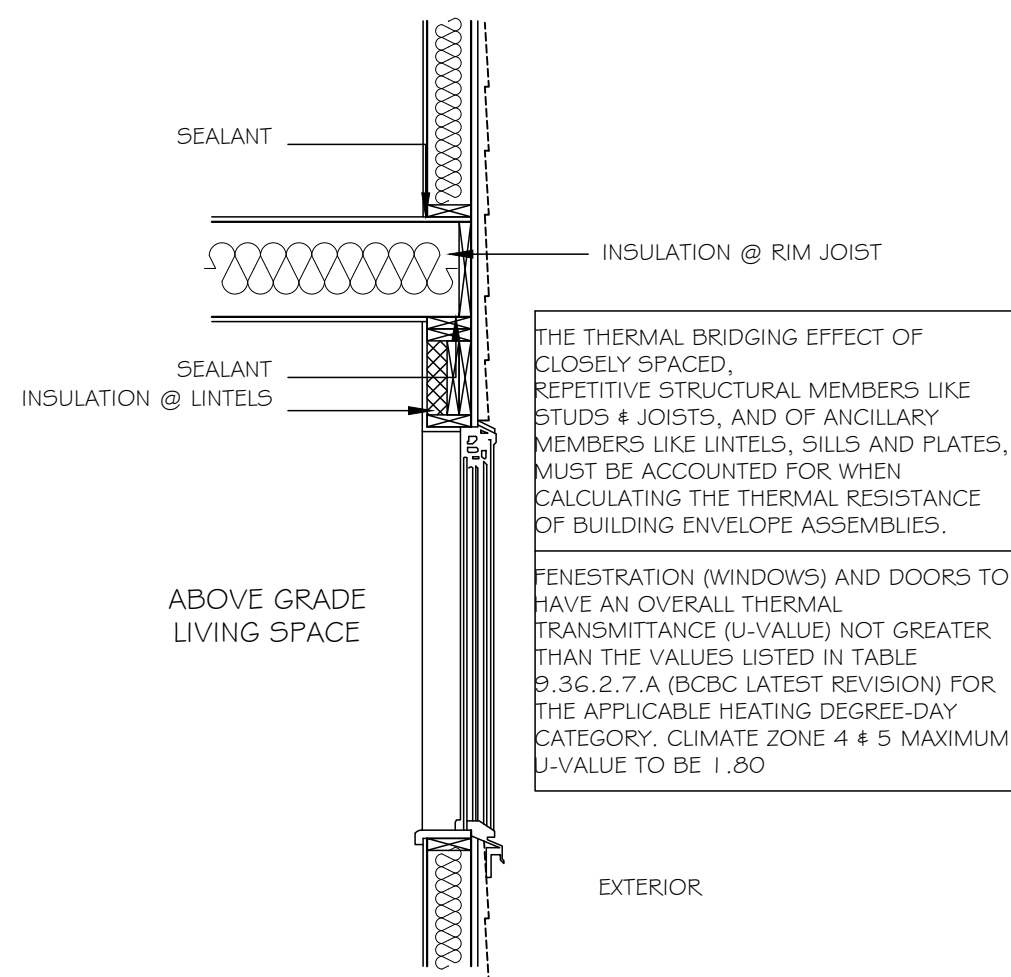
TITLE:	SECTION			A8
SCALE:	1/4" = 1'	DESIGNER:	RAJ TOORA	
DATE:	JULY 29, 2026	DRAWN BY:		

BUILDING D

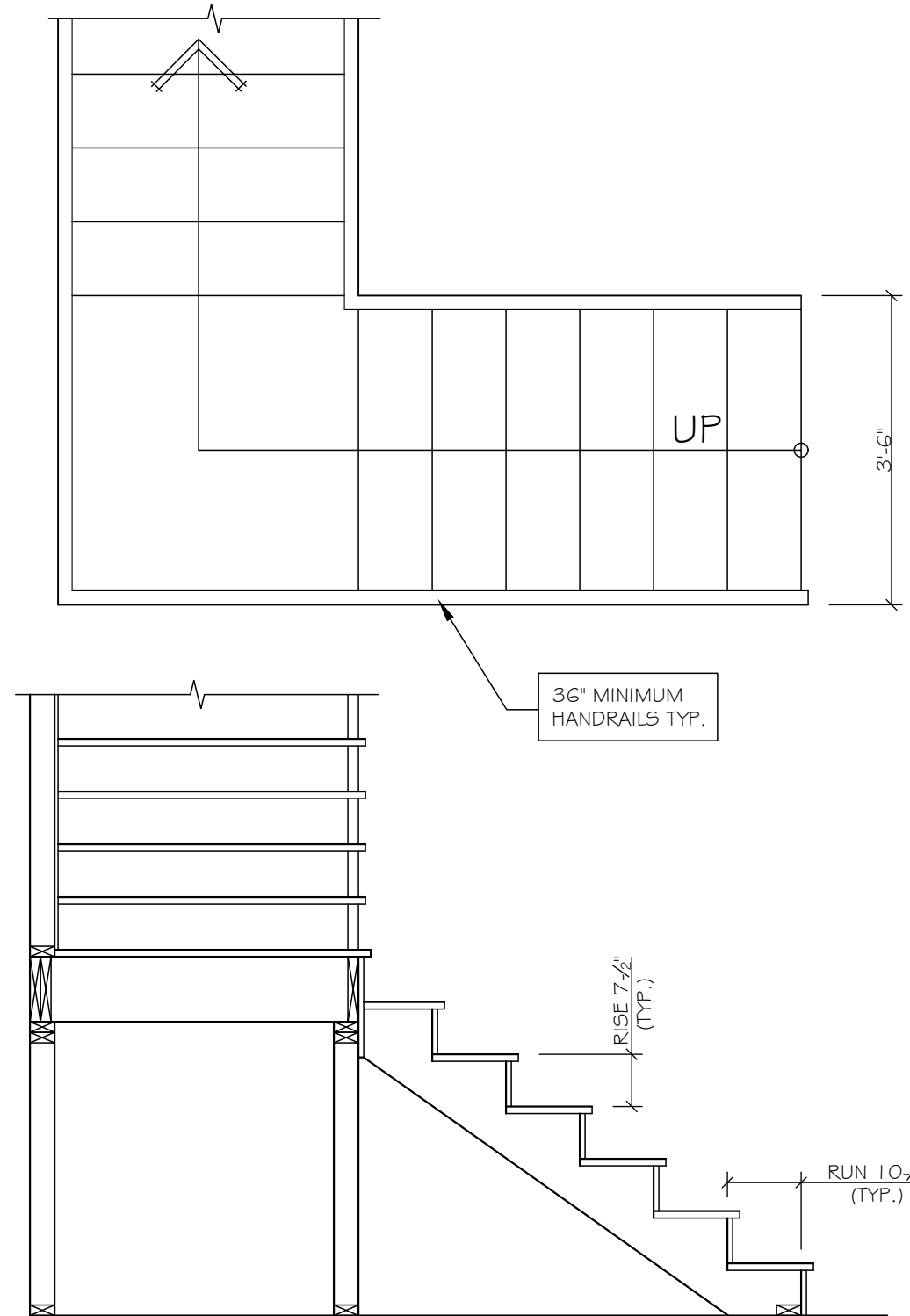
PARTY WALL- CONSTRUCTION OF JUNCTIONS AND FLANKING SURFACE SCALE: 1/2" = 1'



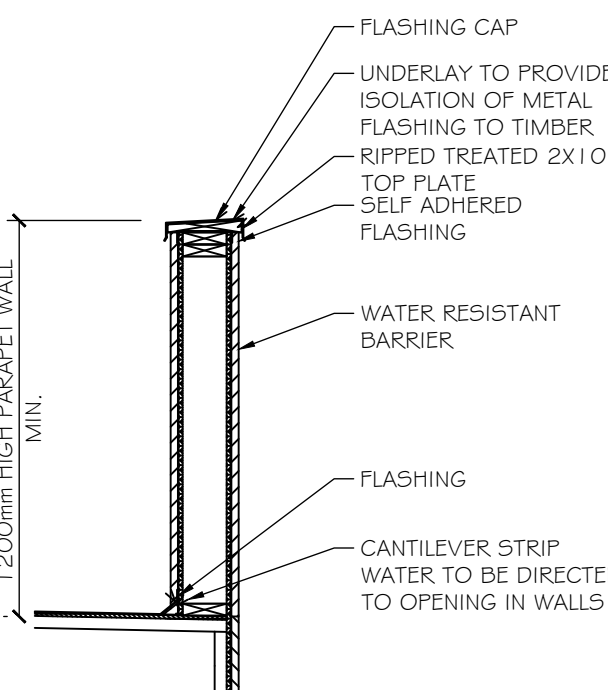
PARTY WALL SECTION
SCALE: 1/4" = 1'



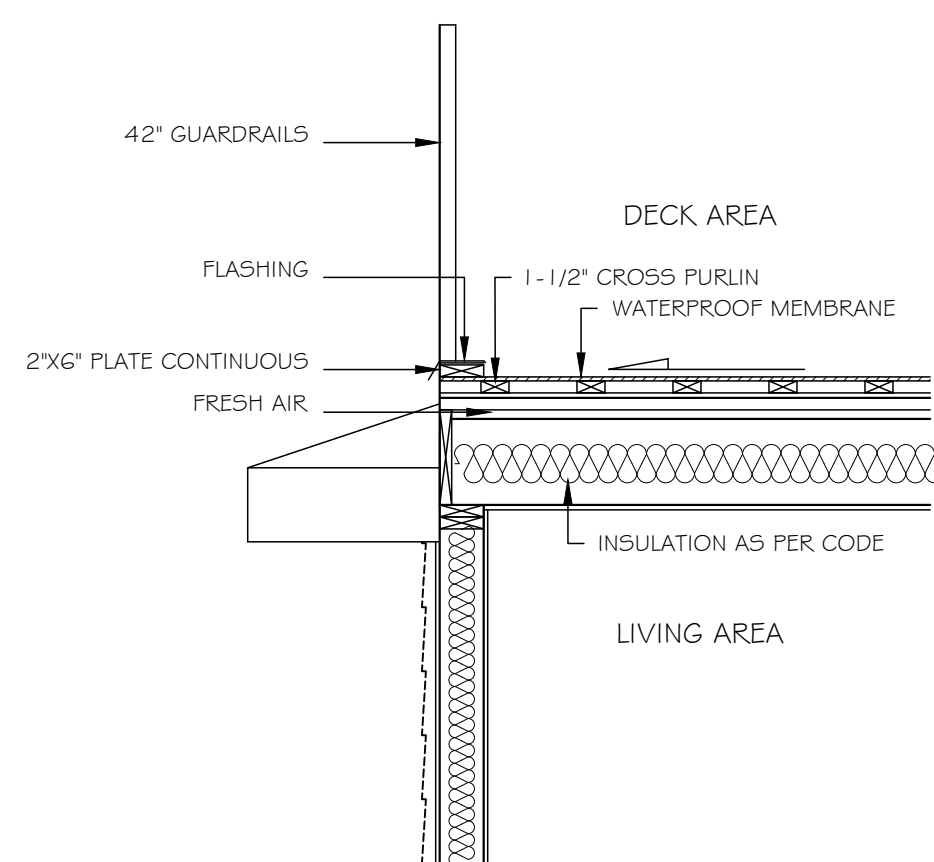
OPAQUE ABOVE GRADE WALL ASSEMBLY DETAIL
SCALE: 1/2" = 1'



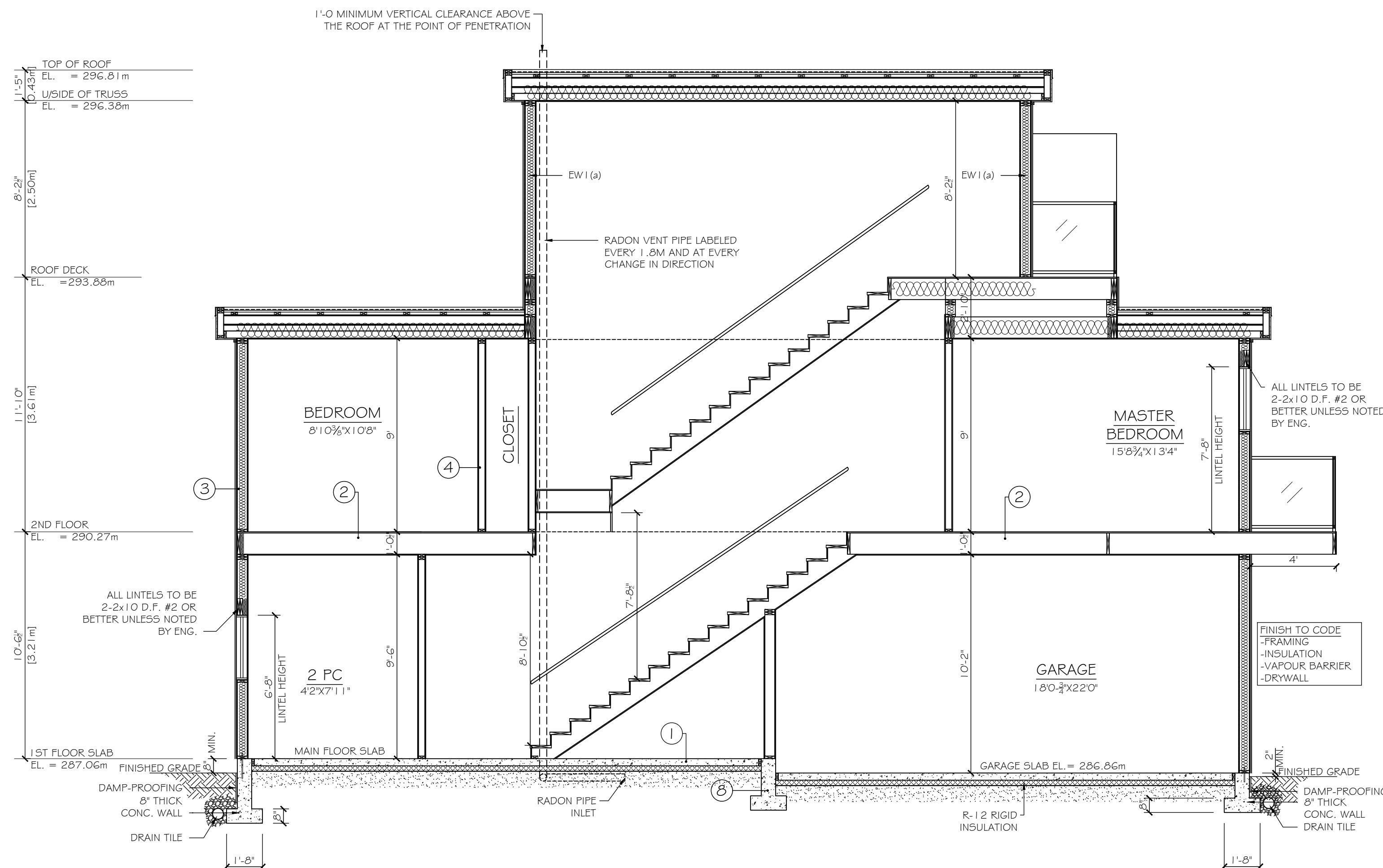
STAIR DETAIL
SCALE: 1/2" = 1'



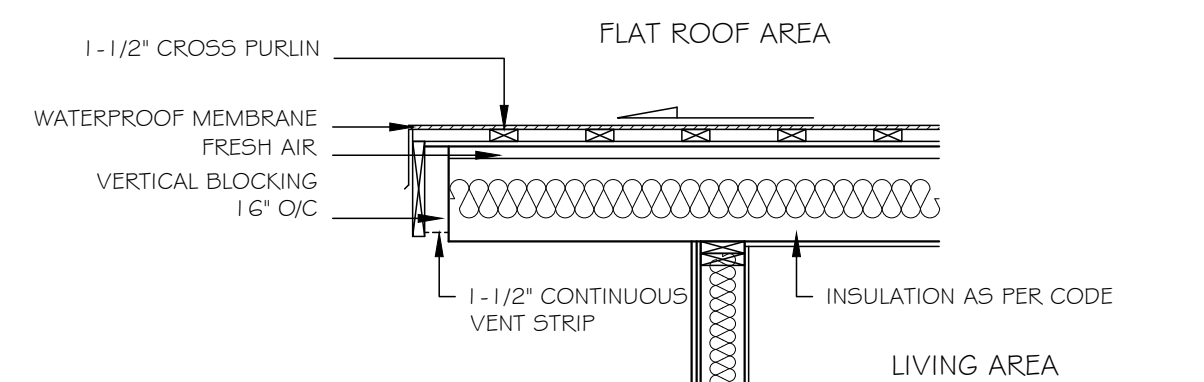
PARAPET DETAIL
SCALE: 1/4" = 1'



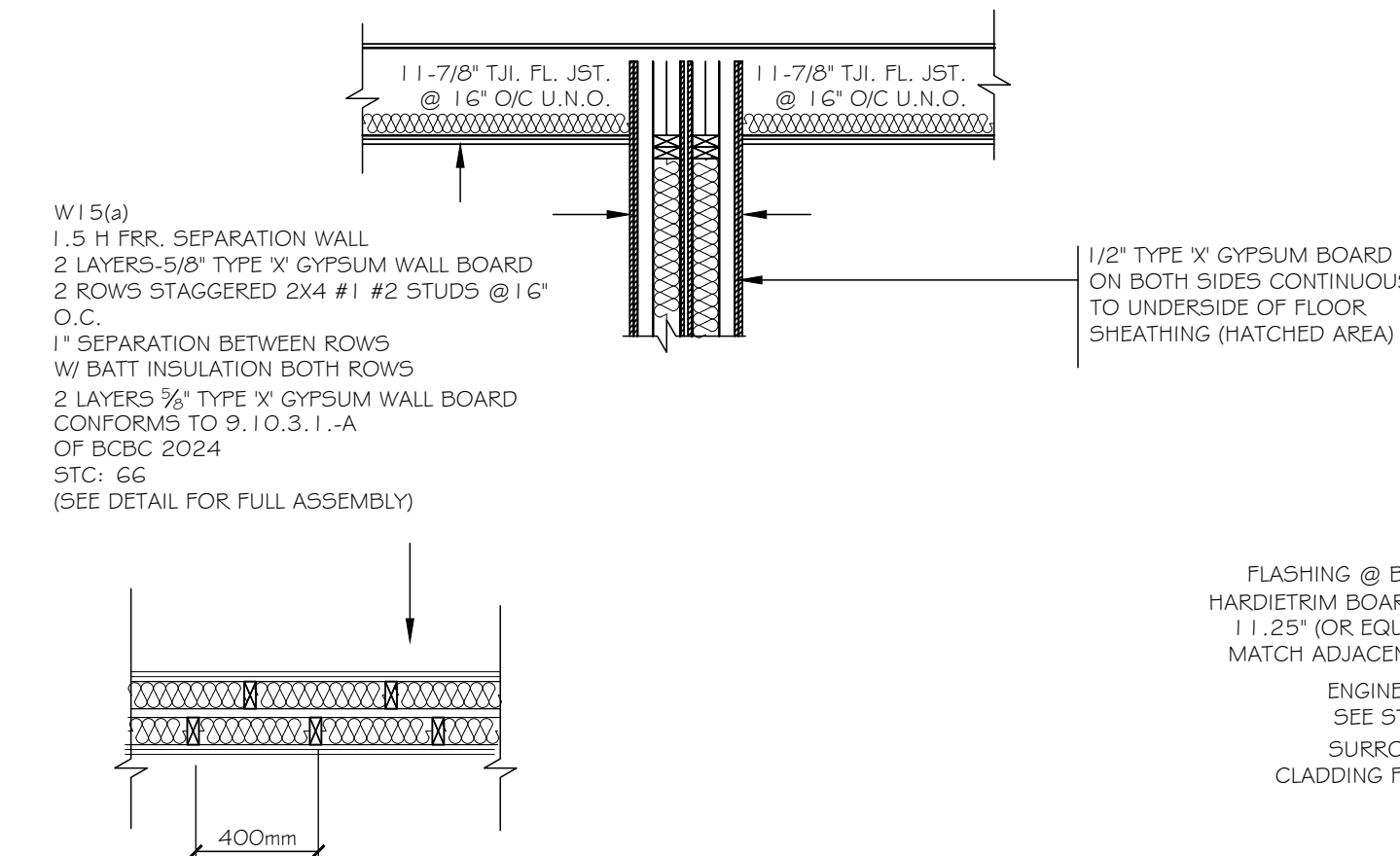
DECK DETAIL FOR ENCLOSED ROOFS
SCALE: 1/2" = 1'



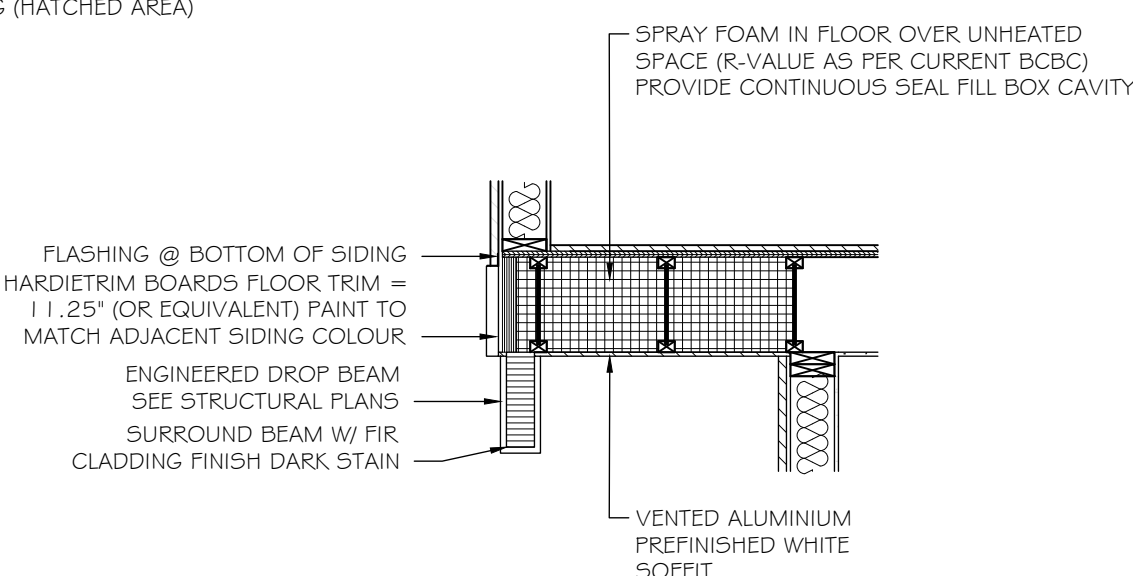
SECTION B-B
SCALE: 1/4" = 1'



FLAT ROOF DETAIL
SCALE: 1/2" = 1'



FIRE-RATED PARTY WALL- DETAIL
SCALE: 1/2" = 1'



OVERHANG & BEAM- DETAIL
SCALE: 1/2" = 1'

CONSTRUCTION SPECIFICATIONS

1	BASEMENT FLOOR SLAB -4\"/>
2	MAINUPPER FLOOR -1\"/>
3	EXTERIOR WALLS -HARDIE -2 LAYERS 30 MIL. BUILDING PAPER -3/4\"/>
4	INTERIOR PARTITIONS -1/2\"/>
5b	FLAT ROOF -TORCH-ON ROOF -BUILDING PAPER -5/8\"/>
6	EAVES -INTEGRAL GUTTER SYSTEM -2x10 FASCIA BOARD -2x4 BACK NAILER -METAL SOFFIT WITH 2\"/>
7	ATTIC VENTILATION -2\"/>
8	FOUNDATION -SEE FOUNDATION DETAIL
EW1(a)	60 MIN FRR & STC: N/A -EXTERIOR CLADDING (HARDIE PLANK) -BUILDING PAPER -15.9mm PLYWOOD -LAYER OF 15.9mm TYPE "X" G.W.B. GOLD SEAL EXT. TYP. -38mmx140mm WOOD STUDS @ 400mm O.C. -89mm OF ABSORPTIVE MATERIAL (MINERAL WOOL INSULATION) -2 LAYERS OF 15.9mm TYPE "X" G.W.B. ON EACH SIDE
W15(a)	90 MIN FRR. STC 66 -2X6 STUDS SPACED 16\"/>



THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2024.

TOORA HOME PLANS

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BUILDING 'D' 'CENTRAL' 4-PLEX
4601 HWY 97
O5OYO05, B.C.

TITLE:	SECTION & DETAILS			A9
SCALE:	1/4" = 1'	DESIGNER:	RAJ TOORA	
DATE:	JULY 29, 2026	DRAWN BY:		

BUILDING D