

J:\Projects\2020\013 Remai, Condo - Osoyoos, BC\5-Osoyoos Apt Current (ArchiCAD)\1-Osoyoos Apt. Current\Osoyoos ArchiCAD\1-Remai 24 Unit Apartment Current Set.pln

OSOYOOS APARTMENTS

(5603 Lakeshore Drive, Osoyoos, B.C.)

SPAN WEST BUILDING CORPORATION



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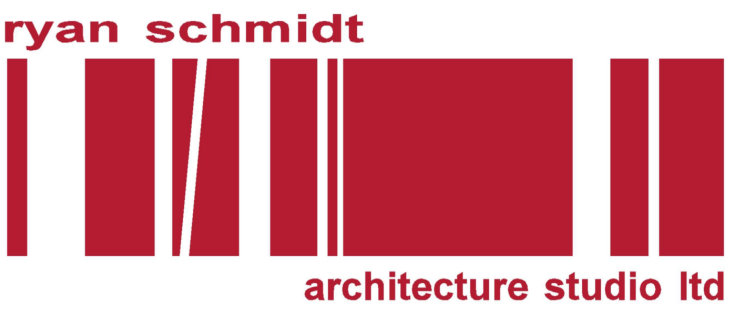
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- GENERAL NOTES:
1. ALL CONSTRUCTION AND RELATED WORK SHALL COMPLY WITH THE 2018 EDITION OF THE BRITISH COLUMBIA BUILDING CODE, LOCAL BYLAWS AND REGULATIONS.
 2. ONE FULL SET OF APPROVED CONSTRUCTION DOCUMENTS IS TO BE KEPT ON SITE AND AVAILABLE FOR CHECKING AT ALL TIMES DURING CONSTRUCTION.
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 9. THE ENGINEER(S) / ARCHITECT(S) DO NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR METHODS, CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES, FOR SAFETY PRECAUTION AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 10. THESE DRAWINGS AND DESIGNS ARE COPYRIGHTED AND REMAIN THE EXCLUSIVE PROPERTY OF RYAN SCHMIDT ARCHITECTURE STUDIO. REPRODUCTION OR USE WITHOUT PRIOR CONSENT IS STRICTLY PROHIBITED.

	ISSUED FOR BUILDING PERMIT	APR. 12/24	LAS
NO.	DESCRIPTION	DATE	BY
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STAMPS:

CLIENT:
SPAN WEST
SASKATOON, SK

PROJECT:
OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE	COVER SHEET
SCALE:	
DATE:	
DRAWN BY:	
CHKD BY:	
FILE NO:	

SHEET 1
A0.1

MAJOR OCCUPANCY: GROUP C, RESIDENTIAL OCCUPANCY
BUILDING HEIGHT: 3 STOREYS
BUILDING ACCESS: FACING 1 STREET
FIRE PROTECTION: SPRINKLERED
BUILDING FOOTPRINT: 7,925 SQ. FT. (736 SQ. M)
2nd & 3rd FLOOR BUILDING AREA: 7,683 SQ. FT. (714 SQ. M)
3.2.2.54. GROUP C, up to 3 Storeys, Sprinklered

- 1) A *building* classified as Group C is permitted to conform to Sentence (2) provided
- a) except as permitted by Sentences 3.2.2.7(1) and 3.2.2.18(2), the *building* is sprinklered throughout,
 - b) it is not more than 3 storeys in *building* height, and
 - c) it has a *building* area not more than
 - iii) 1 800 m2 if 3 storeys in *building* height
- 2) The *building* referred to in Sentence (1) is permitted to be of *combustible construction* or *noncombustible construction* used singly or in combination, and
- a) except as permitted by Sentences (3) and (4), floor assemblies shall be *fire separations* with a *fire-resistance rating* not less than 45 min.,
 - c) *loadbearing* walls, columns and arches shall have a *fire-resistance rating* not less than that required for the supported assembly.

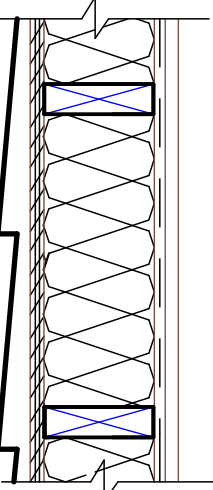
MISCELLANEOUS NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE THE PROVINCE OF SASKATCHEWAN UNIFORM BUILDING AND ACCESSIBILITY ACT, THE NATIONAL BUILDING CODE, 2015.
- READ ALL SHEETS OF THE DRAWINGS IN CONJUNCTION WITH ONE ANOTHER.
- TYPE-X DRYWALL SHALL BE SPECIAL FIRE-RESISTANCE TYPE-X GYPSUM BOARD CONFORMING TO NATIONAL BUILDING CODE OF CANADA ARTICLE 9.29.5.2.
- ABSORPTIVE MATERIAL REQUIRED FOR THE FIRE-RATED WALL ASSEMBLIES SHALL BE MINERAL FIBRE BATT INSULATION WITH A MASS OF ATLEAST 4.8 KG/SQ.M. FOR 150mm STUD THICKNESS OR 2.8 KG/SQ.M. FOR 89mm STUD THICKNESS AND COMPLETELY FILLING THE WALL CAVITY.
- FOR COMPLETE DETAILS OF FIRE-RESISTANCE BUILDING ASSEMBLIES SEE A-9.10.3.1. NATIONAL BUILDING CODE OF CANADA, 2010.
- ALL DRYWALL TAPED AND FILLED. ALL EXPOSED DRYWALL TO BE PAINTED.
- ALL SEALANTS BETWEEN DOOR AND WINDOW FRAMES WITH SIDING AND / OR BRICK TO BE COMPATIBLE.
- CONTRACTOR TO FOLLOW RECOMMENDATIONS OF GEOTECHNICAL ENGINEER'S SOIL REPORT.
- PLYWOOD AROUND BUILDING PERIMETER AND WOOD PLATES IN CONTACT WITH SOIL SHALL BE PRESSURE TREATED.
- PROVIDE POLY UNDER ALL STUD WALLS AGAINST CONCRETE SLAB.
- LAP ALL REBAR 16" MINIMUM.
- ALL COLORS TO BE CONFIRMED BY OWNER.
- VAPOR BARRIER INSTALLATION: LAP AND CAULK ALL VAPOR BARRIER JOINTS.
- BLOCKING TO BE PROVIDED AT ALL JOINTS.
- AIR BARRIER: ENSURE CONTINUITY OF AIR BARRIER AROUND ENTIRE STRUCTURE.
- DO NOT EXCAVATE UNTIL SERVICE FACILITIES HAVE BEEN LOCATED.

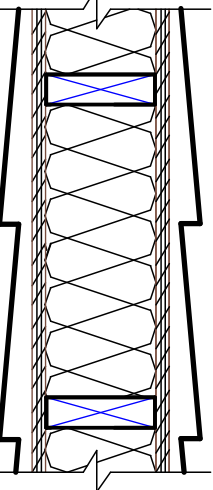
IT IS THE EXCAVATORS RESPONSIBILITY TO ENSURE THERE IS NO DAMAGE TO THE FACILITIES DURING EXCAVATION AND PLACING A REQUEST WITH THE ONE-CALL SYSTEM DOES NOT REMOVE THAT RESPONSIBILITY.

SHEET INDEX		
ID	Name	Published
A0.1	COVER SHEET	<input type="checkbox"/>
A0.2	KEY NOTES	<input type="checkbox"/>
A0.3	CODE ANALYSIS	<input type="checkbox"/>
A0.4	CODE REVIEW	<input type="checkbox"/>
A0.5	CODE REVIEW	<input type="checkbox"/>
A1.1	SITE PLAN	<input type="checkbox"/>
A1.2	LANDSCAPING DETAILS	<input type="checkbox"/>
A2.1	MAIN FLOOR PLAN CONSTRUCTION	<input type="checkbox"/>
A2.2	2ND FLOOR PLAN CONSTRUCTION	<input type="checkbox"/>
A2.3	3RD FLOOR PLAN CONSTRUCTION	<input type="checkbox"/>
A2.4	SUITE TYPES 'A & A2'	<input type="checkbox"/>
A2.5	SUITES TYPE 'B & C'	<input type="checkbox"/>
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A2.7	SUITE-'MANAGER' & 'E'	<input type="checkbox"/>
A2.8	SUITE TYPE 'A' BF	<input type="checkbox"/>
A3.1	NORTH & SOUTH ELEVATIONS	<input type="checkbox"/>
A3.2	EAST & WEST ELEVATIONS	<input type="checkbox"/>
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A4.2	ELEVATOR HOISTWAY SECTION	<input type="checkbox"/>
A5.1	WALL & MISC DETAILS	<input type="checkbox"/>
A5.2	WALL & MISC DETAILS	<input type="checkbox"/>
A6.1	DOOR & WINDOW SCHEDULES	<input type="checkbox"/>
A6.2	WINDOW INSTALLATION PROCEDURES	<input type="checkbox"/>
A7.1	MILLWORK DETAILS	<input type="checkbox"/>
A7.2	KITCHEN MILLWORK DETAILS	<input type="checkbox"/>
A-7.3	BF Millwork Details	<input type="checkbox"/>
A9.1	STAIR PLANS, SECTION & DETAILS	<input type="checkbox"/>
A9.2	ELEVATOR DETAILS	<input type="checkbox"/>
A9.3	MAIN ROOF PLAN	<input type="checkbox"/>

EXTERIOR WALLS



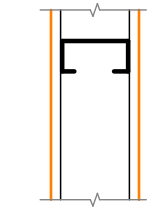
- E1** EXTERIOR WALL
1 HOUR FIRE-RATING
JAMES HARDIE PANEL SIDING
STRAPPING
2 LAYERS #15 FELT
5/8" FIBREGLASS MAT GYPSUM EXTERIOR WALL SHEATHING
2X6 WOOD WALL STUDS
STUD SPACING AS PER STRUCTURAL ENGINEER DESIGN
R20 (5 1/2") BATT INSULATION
2 LAYERS 5/8" TYPE 'X' DRYWALL W/ 6 MIL VAPOR BARRIER
PREFINISHED ALUMINUM FLASHING



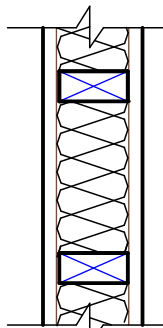
- E2** EXTERIOR WALL (COMMON WALL BETWEEN BALCONIES):
HORIZONTAL VINYL SIDING
2 LAYERS #15 FELT
1/2" EXTERIOR GRADE SHEATHING
2X6 WOOD WALL STUDS
STUD SPACING AS PER STRUCTURAL ENGINEER DESIGN
R20 (5 1/2") BATT INSULATION
5/8" TYPE 'X' DRYWALL W/ 6 MIL VAPOR BARRIER
PREFINISHED ALUMINUM FLASHING

- E2a** EXTERIOR WALL (2nd & 3rd FLOOR)
JAMES HARDIE PANEL SIDING
STRAPPING

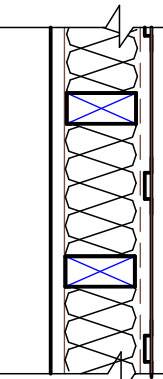
INTERIOR WALLS



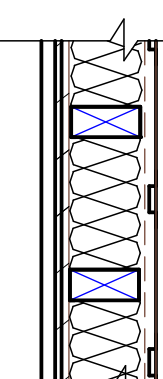
- W1** INTERIOR WALL - NON-FIRE RATED
2X4 STEEL WALL STUDS AT 16" O.C.
1 LAYER OF 1/2" TYPE-X DRYWALL PTD EACH SIDE
(ALL INTERIOR SUITE WALLS ARE W1 UNLESS NOTED OTHERWISE)



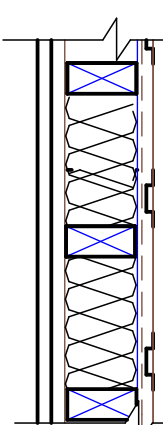
- W2** INTERIOR WALL (MECHANICAL, GENERAL STORAGE, HOUSEKEEPING, STAIRWELL NOT NEXT TO SUITES):
1 HR. FIRE-RATING - STC 36
2X4 WOOD WALL STUDS AT 16" O.C.
3 1/2" SOUND BATT INSULATION
1 LAYER OF 5/8" TYPE-X DRYWALL BOTH SIDES



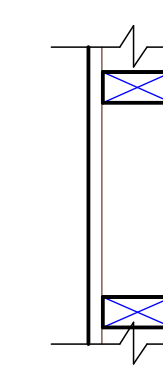
- W3** INTERIOR WALL (BEARING WALL) CORRIDORS:
1 HOUR FIRE-RATING - STC 51
2X6 WOOD WALL STUDS AT 16" O.C.
RESILIENT METAL CHANNEL ON ONE SIDE @ 24" O.C.
2- LAYER OF 5/8" TYPE-X DRYWALL ON RESILIENT CHANNEL
5 1/2" SOUND BATT INSULATION
1- LAYERS OF 5/8" TYPE-X DRYWALL ON OTHER SIDE



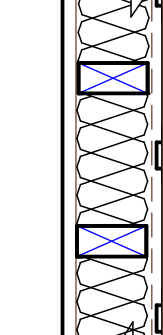
- W4** INTERIOR WALL (COMMON WALL BETWEEN SUITES):
1 HOUR FIRE-RATING - STC 51
2X6 WOOD WALL STUDS AT 16" O.C.
RESILIENT METAL CHANNEL ON ONE SIDE @ 24" O.C.
2- LAYER OF 5/8" TYPE-X DRYWALL ON RESILIENT CHANNEL
5 1/2" SOUND BATT INSULATION
1/2" PLYWOOD
1- LAYERS OF 5/8" TYPE-X DRYWALL ON OTHER SIDE



- W5** INTERIOR WALL (ELEVATOR SHAFT):
1 1/2 HOUR FIRE-RATING - STC 55
2X6 WOOD WALL STUDS SPACED AT 16" O.C. ON 2X6 PLATE
5 1/2" SOUND BATT INSULATION
RESILIENT METAL CHANNELS ON ONE SIDE SPACED 24" O.C.
2 LAYERS OF 1/2" TYPE-X DRYWALL ON BOTH SIDE



- W7** INTERIOR WALL (STAIRWELL):
2X 6 WOOD WALL STUDS AT 16" O.C.
1 LAYER OF 1/2" TYPE-X DRYWALL ON BOTH SIDES



- W9** INTERIOR WALL (EXIT STAIR SHAFTS & MECH. NEXT TO SUITE):
1 HOUR FIRE-RATING - STC 54
2X4 WOOD WALL STUDS AT 24" O.C.
RESILIENT METAL CHANNEL ON ONE SIDE @ 24" O.C.
2- LAYER OF 5/8" TYPE-X DRYWALL ON RESILIENT CHANNEL
3 1/2" SOUND BATT INSULATION
1- LAYERS OF 5/8" TYPE-X DRYWALL ON OTHER SIDE

- W10** INTERIOR WALL (PLUMBING) - NON-FIRE RATED
2X6 STEEL WALL STUDS AT 16" O.C.
1 LAYER OF 1/2" TYPE-X DRYWALL BOTH SIDES

FLOORS/CEILINGS/PATIO

C1

- CEILING (ON ALL ROOF TRUSSES):
2 LAYERS OF 1/2" TYPE-X DRYWALL = 50 MIN
RESILIENT METAL CHANNELS SPACED 24" O.C.
W/ 6 MIL VAPOR BARRIER (CMHC APPROVED) ON ENGINEER APPROVED ROOF TRUSSES AT 2'-0" O.C.

F1

- CONCRETE FLOOR SLAB:
FLOOR FINISH (AS PER ROOM FINISH SCHEDULE)
ON CONCRETE SLAB
REINFORCING AS PER STRUCTURAL DRAWINGS
POLY VAPOR BARRIER
1" TO 2" SAND BED (TO PROTECT THE POLY VAPOR BARRIER FROM TEARING)
6" COMPACTED FILL (COMPACT TO 98% STANDARD PROCTOR MAXIMUM DRY DENSITY)
(CONFIRM WITH STRUCTURAL)

F2

- MAIN FLOOR PATIO CONCRETE SLAB:
4" CONCRETE SLAB R/W
10M BARS 12" O.C. E.W. AT MID-SLAB
5 TO 7% AIR ENTRAINMENT REQUIRED ON
4" VOID FORM
DOWEL CONC SLAB INTO CONC FOUNDATION WALL
WITH 10M DOWELS AT 12" O.C.

F3

- EXTERIOR CONCRETE WALK:
4" CONCRETE SLAB R/W
6X6-8.8 WWF (FLAT MAT) MID-SLAB OR
FIBER REINFORCED CONC
5 TO 7% AIR ENTRAINMENT REQUIRED FOR
EXTERIOR CONCRETE SLABS ON SAND BED
DOWEL CONC EXTERIOR WALKS INTO CONC
FOUNDATION WALL WITH 10M DOWELS AT 18" O.C.

F4

- UPPER FLOOR ASSEMBLY:
3/4 HR FIRE-RATING - STC 50
1 1/2" CONCRETE TOPPING
5/8" PLYWOOD ON
ENGINEERED FLOOR JOIST (CONFIRM SPACING WITH SUPPLIER)
2 LAYERS 5/8" TYPE-X DRYWALL

ROOF

R1

- ROOF CONSTRUCTION: (SPRINKLERED) /22"x36" ATTIC ACCESS OPENINGS)
ASPHALT SHINGLES (25 YEAR)
EAVE PROTECTION (POLY OR BUILDING PAPER)
7/16" OSB SHEATHING ON
ENGINEER APPROVED TRUSSES @ 24" O.C.
R40 FIBREGLASS BLOWN INSULATION (AS REQUIRED)
CARDBOARD INSULATION STOPS AT EACH TRUSS
TO PROVIDE 2" CLEARANCE FOR AIR FLOW
PROVIDE ROOF TOP ATTIC VENTS (1 PER 250 SQ.FT. - MIN.)
OR CONTINUOUS RIDGE TOP ROOF VENTING

MISCELLANEOUS

S1

- TRIM AND SOFFIT:
PREFINISHED ALUM TRIM, 5" (MIN) GUTTER, VENTED SOFFIT,
DRIP, FLASHING AND DOWNSPOUTS (RWL)
DOWN TO CONCRETE SPLASH PADS

COL2

- INTERIOR LOAD BEARING COLUMNS (ALL FLOORS):
60 MIN. FIRE-RESISTANCE RATING - 2 HR. PROVIDED
2 LAYERS - 1/2" TYPE-X DRYWALL CONCEALING COLUMN

B1

- EXTERIOR BALCONIES (2ND & 3RD FLOOR):
8" HOLLOWCORE PRE-CAST PRE-STRESSED CONCRETE FLOOR SLABS
TYPE 'N' CONCRETE
GROUT & TROWEL SMOOTH AT ADJOINING SLABS

D-2.3.4. METHOD OF CALCULATION

TABLE D-2.3.4.-A

TIME ASSIGNED TO PROTECTIVE MEMBRANES ON FIRE-EXPOSED SIDE OF WOOD-FRAMED WALLS

DESCRIPTION OF FINISH	TIME, MIN	
	LOADBEARING WALLS	NON-LOADBEARING WALLS
11.0 mm DOUGLAS FIR PLYWOOD PHENOLIC BONDED	-	10 (1)
14.0 mm DOUGLAS FIR PLYWOOD PHENOLIC BONDED	-	15 (1)
12.7 mm TYPE X GYPSUM BOARD	25 (2)	25
15.9 mm TYPE X GYPSUM BOARD	40 (2)	40 (3)
DOUBLE 12.7 mm TYPE x GYPSUM BOARD (4)	50	80

NOTES TO TABLE D-2.3.4.-A:

- APPLIES TO STUD CAVITIES FILLED WITH MINERAL WOOL CONFORMING TO CANULC-2702, AND HAVING A MASS PER UNIT AREA OF NOT LESS THAN 2 kg/m², WITH NO ADDITIONAL CREDIT FOR INSULATION.
- APPLIES ONLY TO WOOD-FRAMED WALLS.
- APPLIES ONLY TO STEEL-FRAMED WALLS.
- RESILIENT METAL CHANNELS ARE PERMITTED TO BE INSTALLED AT A SPACING OF 400 mm O.C. WITH NO EFFECT ON THE RATING OF THE WALL ASSEMBLY.

TABLE D-2.3.4.-E

TIME ASSIGNED FOR CONTRIBUTION OF WOOD-FRAMED WALLS

DESCRIPTION OF FRAME	TIME, MIN	
	LOADBEARING WALLS	NON-LOADBEARING WALLS
WOOD STUDS SPACED ≤ 400 mm O.C.	20	20
WOOD STUDS SPACED ≤ 600 mm O.C	15	15

TABLE D-2.3.4.-G

TIME ASSIGNED FOR ADDITIONAL PROTECTION

DESCRIPTION OF ADDITIONAL PROTECTION	TIME, MIN
ADD TO THE FIRE-RISTANCE RATING OF WOOD STUD WALLS, SHEATHED WITH GYPSUM BOARD IF THE SPACES BETWEEN THE STUDS ARE FILLED WITH PREFORMED INSUALTION OF ROCK OR SLAG FIBRES CONFORMING TO CANULC-S702, AND WITH A MASS PER UNIT AREA OF NOT LESS THAN 1.22 kg/m² OF WALL SURFACE	15 (1)
ADD TO THE FIRE-RESISTANCE RATING OF NON-LOADBEARING WOOD STUD WALLS, SHEATHED WITH GYPSUM BOARD IF THE SPACES BETWEEN THE STUDS ARE FILLED WITH PREFORMED INSULATION OF GLASS FIBRES CONFORMING TO CANULC-S702, AND HAVING A MASS PER UNIT AREA OF NOT LESS THAN 0.67 kg/m² OF WALL SURFACE	5 (2)
ADD TO THE FIRE-RESISTANCE RATING OF LOADBEARING WOOD STUD WALLS, SHEATHED WITH GYPSUM BOARD IF THE SPACES BETWEEN THE STUDS ARE FILLED WITH INSULATION OF CELLULOSE FIBRES CONFORMING TO CANULC-S703, AND HAVING A DENSITY OF NOT LESS THAN 50 kg/m³	10

NOTES TO TABLE D-2.3.4.-G:

- APPLIES TO WOOD-FRAMED WALLS ONLY.
- APPLIES TO WOOD JOIST, WOOD TRUSSES, WOOD I-JOISTS AND COLD-FORMED STEEL JOISTS (C-SHAPED JOISTS).

SUMMARY OF ASSEMBLIES, FIRE AND SOUND RATED AS FOLLOWS:

STORAGE ROOM NOT CONTAINED IN SUITE	... 45 MIN. FIRE SEPARATION	3.3.4.3.(3)
MECHANICAL SERVICE ROOM	... 1 HR FIRE SEPARATION	3.6.2.1.
LOAD BEARING WALLS, COLUMNS, ARCHES	... 45 MIN. FIRE SEPARATION	3.2.2.51.(2)(c)
FLOOR ASSEMBLY WITHIN A DWELLING UNIT	... 45 MIN. FIRE SEPARATION	3.3.4.2.
JANITOR'S ROOM (SPRINKLERED)	... FIRE SEPARATION NOT REQ'D	3.3.1.21. (3)
ELECTRICAL SERVICE ROOM	... 1 HR FIRE SEPARATION	3.6.2.1. (6)
REFUSE STORAGE	... 1 HR FIRE SEPARATION	3.6.2.5.
PUBLIC CORRIDOR SEPARATIONS	... 45 MIN. FIRE SEPARATION	3.3.4.2.(2)
SUITE SEPARATIONS	... 45 MIN. FIRE SEPARATION	3.3.4.2.(2)
SUITE SEPARATION STC RATING	50 STC (MINIMUM)	
ELEVATOR SEPARATION STC RATING	55 STC (MINIMUM)	
SUITE DOORS	20 MIN.	3.1.8.12 (1)
FIRE ALARM SYSTEM	REQUIRED	
CONCEALED SPACES IN FLOOR AND ROOF ASSEMBLIES	300 SQ.M. (MAX)	3.1.11.5.

TABLE 3.1.8.4. FIRE PROTECTION RATING OF CLOSURES

FIRE RESISTANCE RATING OF FIRE SEPARATION	REQUIRED FIRE PROTECTION RATING OF CLOSURE
45 MIN.	45 MIN.
1 HOUR	45 MIN.
1.5 HOURS	1 HOUR

ryan schmidt



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	ISSUED FOR BUILDING PERMIT	APR. 12/24	LAS
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STAMPS:

CLIENT:

SPAN WEST
SASKATOON, SK

PROJECT:

OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE

KEY NOTES

SCALE:
DATE:
DRAWN BY:
CHKD BY:
FILE NO:

SHEET 2

A0.2

3.1.8.7. Location of Fire Dampers and Smoke Dampers

1) Except as provided in Article 3.1.8.8., a fire damper having a fire-protection rating conforming to Sentence 3.1.8.4.(2) shall be installed in conformance with Article 3.1.8.10. in ducts or air-transfer openings that penetrat an assembly required to be a fire separation.

3.1.8.12. TWENTY-MINUTE CLOSURES

- 1) A door assembly having a fire-protection rating not less than 20 min. is permitted to be used as a closure in
- a) a fire separation not required to have a fire-resistance rating more than 1h, located between
- i) a public corridor and a suite.

3.1.8.13. Self-Closing Devices

1) Except as permitted by Sentence (2), every door in a fire separation shall be equipped with a self-closing device designed to return the door to the closed position after each use.

3.1.9.1. Fire Stops

- 1) Except as provided in in Sentence (2) to (5) and Article 3.1.9.4., penetrations of a fire separation or a membrane forming part of an assembly required to have a fire-resistance rating shall be
- a) sealed by a fire stop that, when subjected to the fire test methond in CAN  ULC-S115, "fire Tests of Firestop Systems, has an F rating not less than the fire-protection rating reqiued for closures in the fire separation in conformance with Table 3.1.8.4., or
- b) cast in place (see Note A-3.1.9.1.(1)(b)).

3.1.9.5. Combustible Piping Penetrations

- 1) Combustible sprinkler piping is permitted to penetrate a fire separation provided the fire compartments on each side of the fire separation are sprinklered.
- 2) Combustible water distribution piping is permitted to penetrate a fire separation that is required to have a fire-resistance rating without being incorporated in the assembly at the time of testing as required by Article 3.1.9.2., provided the piping is protected at the penetration with a fire stop in conformance with Sentence (4).
- 3) Except as permitted by Sentences (4) to (5), combustible piping shall not be used in a drain, waste and vent piping system if any part of that system penetrates
- a) a fire separation required to have a fire-resistance rating, or
- b) a membrane that forms part of an assembly required to have a fire-resistance rating.
- 4) Combustible drain, waste and vent piping is permitted to penetrate a fire separation required to have a fire-resistance rating or a membrane that forms part of an assembly required to have a fire-resistance rating, provided
- a) the piping is sealed at the penetration by a fire stop that has an F rating subjected to the fire test method in CAN/ULC-S115, "Fire Tests of Firestop Systems," with a pressure differential of 50 Pa between the exposed and unexposed sides, with the higher pressure on the exposed side, and
- b) the pipiing is not located in a vertical service space.

3.1.13.3. Bathrooms in Residential Suites

1) The flame-spread rating of interior wall and ceiling finishes for a bathroom within a suite of residential occupancy shall be not more than 200.

3.1.15.1.Roof Covering Classification

1) A roof covering classification shall be determined in conformance with CAN/ULC-S107-M, "Fire Tests of Roof Coverings."

3.2.1.1. Exceptions in Determining Building Height

1) A roof-top enclosure provided for elevator machinery, a stairway or a service room used for no purpose other than for service to the building, shall not be considered as a storey in calculating the building height.

3.2.2.11. Exterior Balconies

1) An exterior balcony shall be constructed in accordance with the type of construction required by Articles 3.2.2.20. to 3.2.2.90., as applicable to the occupancy classification of the building.

3.2.2.14. Roof-Top Enclosures

- 1) A roof-top enclosure for elevator machinery or for a service room shall be constructed in accordance with the type of construction required by Articles 3.2.2.20. to 3.2.2.90.
- 2) A roof-top enclosure for elevator machinery or for a service room, not more than one storey high, is not required to have a fire-resistance rating.
- 3) A roof-top enclosure for a stairway shall be constructed in accordance with the type of construction required by Articles 3.2.2.20. to 3.2.2.90.
- 4) A roof-top enclosure for a stairway need not have a fire-resistance rating nor be constructed as a fire separation.

3.2.4.8. Annunciator and Zone Indication

1) Except as permitted by Sentences (3) to (5), an annunciator shall be installed in close proximity to a building entrance that faces a street or an access route for fire department vehicles that complies with Sentence 3.2.5.5.(1).

3.2.6. Additional Requirements for High Buildings

3.2.6.1. Application

- 1) This subsection applies to a building
- d) containing a Group C major occupancy whose floor level is more that 18m above grade.

3.2.7.4. Emergency Power for Lighting

- 1) An emergency power supply shall be
- a) provided to maintain the emergency lighting required by this Subsection from a power source such as batteries or generators that will continue to supply power in the event that the regular power supply to the building is interrupted, and
- b) so designed and installed that upon failure of the regular power it will assume the electrical load automatically for a period of
- iv) 30 min for a building of any other occupancy.
- 2) If self-contained emergency lighting units are used, they shall conform to CSA C22.2 No. 141, "Emergency Lighting Equipment."

3.2.7.8. Emergency Power for Fire Alarm Systems

- 1) Fire alarm systems, including those incorporating a voice communicaiton system, shall be provided with an emergency power supply conforming to Sentences (2), (3) and (4).
- 2) The emergency power supply required by Sentence (1) shall be supplied from
- a) a generator,
- b) a batteries, or
- c) a combination thereof.
- 3) The emergency power supply required by Sentence (1) shall be capable of providing
- a) supervisory power for not less than 24 h, and
- b) immediately following, emergency power under full load for not less than
- iv) 5 min for a building not required to be equipped with an annunciator, and
- v) 30 min for any other building.
- 4) The emergency power supply required by Sentence (1) shall be designed so that, in the event of a failure of the normal power source, there is an immediate automatic transfer to emergency power with no loss of information.

3.2.7.9. Emergency Power for Building Services

- 1) An emergency power supply capable of operating under a full load for not less than 2 h shall be provided by an emergency generator for
- b) water supply for fire fighting in conformance with Article 3.2.5.7., if the supply is dependent on electrical power supplied to the building,

3.3.4.2. Fire Separations

- 2) The fire-resistance rating of the fire separaiton required by Sentence (1) is permitted to be less than 1 h but not less than 45 min provided the fire-resistance rating required by Subsection 3.2.2. is permitted to be less than 1 h for
- a) the floor assembly above the floor area, or
- b) the floor assembly below the floor area, if there is no floor assembly above.

3.3.4.3. Storage Rooms

- 1) Sprinklers shall be installed in a storage room provided for the use of tenants in a residential occupancy within a floor area but not contained within a suite.
- 3) The fire-resistance rating of the fire separaiton required by Sentence (2) is permitted to be less than 1 h but not less than 45 min provided the fire-resistance rating required by Subsection 3.2.2. is permitted to be less than 1 h for
- a) the floor assembly above the floor area, or
- b) the floor assembly below the floor area, if there is no floor assembly above.

3.3.4.6. Sound Transmission

1) Sound transmission class ratings of building assemblies shall conform to Section 5.8.

5.8.1.1. Required Protection

- 1) Except as provided in Sentence (2) a dwelling unit shall be separated from every other space in a building in which noise may be generated by
- b) a separating assembly providing a sound transmission class (STC) rating of not less than 50 and adjoining contructions that conform to Article 9.11.1.4.
- 2) Construction separating a dwelling unit from an elevator shaft shall have an STC rating not less than 55.

5.8.1.3. Compliance with Required Ratings

- 1) Compliance with the required STC ratings shall be demonstrated through
- b) the construction of separating assemblies conforming to those presented in Table 9.10.3.1.-A or 9.10.3.1.-B, as applicable.

3.3.4.7.Stairs, Landings, Handrails and Guards for Dwelling Units

1) Stairs, landings,handrails and guards within a dwelling unit shall conform to the appropriate requirements in Section 9.8.

3.4.2.5. Location of Exits

- 1) Except as permitted by Sentences (2) and 3.3.2.5.(6), if more than one exit is required from a floor area, the exits shall be located so that the travel distance to at least one exit shall be not more than
- c) 45 m in a floor area that contains an occupancy other than a high hazard industrial occupancy, provided it is sprinklered throughout,

3.4.3.2. Exit Width

- 1) The minimum aggregate width of required exits serving residential occupancies shall be determined by multiplying the occupant load of the area served by
- a) 6.1 mm per person for corridors
- 8) The minimum widths of exits shall conform to to Table 3.4.3.2.A.
- i) be not less than 1 100 mm for corridors and passageways, and stairs and ramps.
- ii) be not less than 800 mm for doorways

3.4.6.2. Minimum Number of Risers

1) Except as permitted by Sentence 3.3.2.15.(1), every flight of interior stairs shall have not less than 3 risers.

3.4.6.3. Maximum Vertical Rise of Stair Flights and Required Landings

- 1) No flight of stairs shall have a vertical rise of more than 3.7 m between floors or landings.
- 2) Except as provided in Sentence (3), a landing shall be provided
- a) at the top and bottom of each flight of interior and exterior stairs,
- b) at the top the top and bottom of every section of ramp,
- c) where a doorway opens onto a stair or ramp,
- d) where a ramp opens onto a stair, and
- e) where a stair opens onto a ramp.
- 3) A landing may be omitted at the bottom of an exterior stair or ramp, provided there is no gate, door or fixed obstruction within the lesser of
- a) the width of the stair or ramp, or
- b) 1 100 mm.

3.3.1.9. Corridors

1) The minimum width of a public corridor shall be 1 100 mm.

3.4.6.5. Handrails

- 1) One handrail shall be provided on stiairs that are less than 1 100 mm in width.
- 2) One handrail shall be provided on each side of
- a) stiairs that are 1 100 mm or more in width

3.4.6.6. Guards

- 1) Every exit shall have a wall or a well-secured guard on each side, where
- a) there is a difference in elevation of more tha 600mm between the walking surface and the adjacent surface, or
- b) the adjacent surface within 1.2m of the walking surface has a slope of more than 1 in
- 6) In a stairway, a window for which the destance measured vertically between the bottom of the window and a line drawn through the outside edges of the stair nosings is less than 900 mm, or a sindow that estends to less than 1 070 mm above the landing, shall
- a) be protected by a guard that is
- i) located approximately 900 mm above a line drawn through the outside edges of the stair nosing, or
- ii) not less than 1 070 mm high measured to the top of the guard from the surface of the landing, or
- b) be fixed in position and designed to resist the lateral design loads specified for guars and walls in Articles 4.1.5.14. and 4.1.5.16.

3.4.6.7. Ramp Slope

- 1) The maximum slope of a ramp shall be
- a) 1 in 10 in any residential occupancy.

3.4.6.8. Treads and Risers

- 1) Except as permitted for dwelling units, steps for stairs shall have a run of not less than 280 mm between successive steps.
- 2) Steps for stairs referred to in Sentence (1) shall have a rise between successive treads not less than 125mm and not more than 180mm.

3.5.2.1. Elevators, Escalators and Dumbwaiters

- 1) The design, construction, installation and alteration of every elevator, escalator and dumbwaiter shall conform to
- a) provincial or territorial regulations or municipal bylaws, or
- b) ASME A17.1/CSA B44, "Safety Code for Elevators and Escalators," in absence of the regulations or bylaws referred to in Clause (a).
- (See Note A-3.5.2.1.(1).)
- 2) Before placing in service, every elevator installation, including safety and control devices, shall be inspected and tested in accordance with
- a) provincial or territorial regulations or municipal bylaws, or
- b) ASME A17.1/CSA B44, "Safety Code for Elevators and Escalators," in absence of the regulations or bylaws referred to in Clause (a). (See Note A-3.5.2.1.(1).)
- 3) Passenger elevators shall conform to Appendix E of ASME A17.1/CSA B44, "Safety Code for Elevators and Escalators."

3.5.3.3. Fire Separations for Elevator Machine Rooms

1) Except as permitted by Sentence (2), a room containing elevator machinery shall be separated from all other parts of the building by a fire separation having a fire-resistance rating not less than that required for the vertical service space containing the elevator hoistway.

3.6.1.4. Storage Use Prohibition

1) Service spaces shall not be designed to facilitate subsequent use as storage space.

3.6.3.1. Fire Separations for Vertical Service Spaces

- 1) Except as provided in Articles 3.6.3.3. and 3.6.3.5. and Section 3.5., a vertical service space shall be separated form all other portions of each adjacent storey by a fire separation having a fire-resistance rating conforming to Table 3.6.3.1. for the fire-resistance rating required by Subsection 3.2.2. for
- a) the floor assembly above the storey, or
- b) the floor assembly below the storey, if there is no floor assembly above.

Table 3.6.3.1

Fire Separations for Vertical Service Spaces

Fire-Resistance Rating of Fire Separation Required for Floor Assembly minimum fire-Resistance Rating of Vertical Service Space

1 h 45 min.

2) A vertical service space that does not extend through the roof of a building shall be enclosed at the top with construction having a fire-resistance rating not less than that required for the vertical service space walls.

3.8.2.3. Areas Requiring Access

1)Except as permitted by Sentence (2), access from the accessible entrances required by Sentences 3.8.2.2.(1) and (2) shall be provided throughout the entrance storey or storeys and within all other normally occupied floor areas as required by Sentence 3.8.2.1.(1).

3.8.3.5. Ramps

- 1) A ramp located in an accessible path of travel shall
- a) have a width of not less than 1500 mm (see Note A-3.4.3.4.),
- b) have a slope of not more than 1 in 12 (see Note A-3.8.3.5.(1)(b)),
- c) have a level area not less than 1 500 by 1 500 mm at the top and bottom and at intermediate levels of a ramp leading to a door, so that on the latch side the level area extends not less than
- i) 600 mm beyond the edge of the door opening where the door opens towards the ramp, or
- ii) 300 mm beyond the edge of the door opening where the door opens away from the ramp. (see Note A-3.8.3.5.(1)(c)),

ryan schmidt



GENERAL NOTES:

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2. ONE FULL SET OF APPROVED CONSTRUCTION DOCUMENTS IS TO BE KEPT ON SITE AND AVAILABLE FOR CHECKING AT ALL TIMES DURING CONSTRUCTION.
3. ENSURE ACCESS TO ALL FIRE EXITS ARE MAINTAINED DURING CONSTRUCTION.
4. ALL DIMENSIONS ARE FROM FACE OF STUD, FACE OF GIRTS, FACE OF CONCRETE, FACE OF BLOCK OR CENTRE LINE OF GRID UNLESS NOTED OTHERWISE. FOR STRUCTURAL DRAWINGS, ALL INTERIOR DIMENSIONS ARE FROM CENTRE LINE OF WALL, CENTRE LINE OF CONCRETE PILE, CENTRE LINE OF CONCRETE FOOTING, CENTRE LINE OF STEEL OR CENTRE LINE OF GRID UNLESS NOTED OTHERWISE.
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NO.	DESCRIPTION	DATE	BY
DRAWING ISSUE NUMBER / REVISIONS			

STAMPS:

CLIENT:

SPAN WEST
SASKATOON, SK

PROJECT:

OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE
CODE ANALYSIS

SCALE:	SHEET 3 A0.3
DATE:	
DRAWN BY:	
CHKD BY:	
FILE NO:	

J:\Projects\2020\20-013 Remaj, Condo - Osoyoos ArchiCAD\1-Osoyoos Apt. Current\Osoyoos ArchiCAD\1-Remaj 24 Unit Apartment Current Set.pln

GENERAL NOTES:

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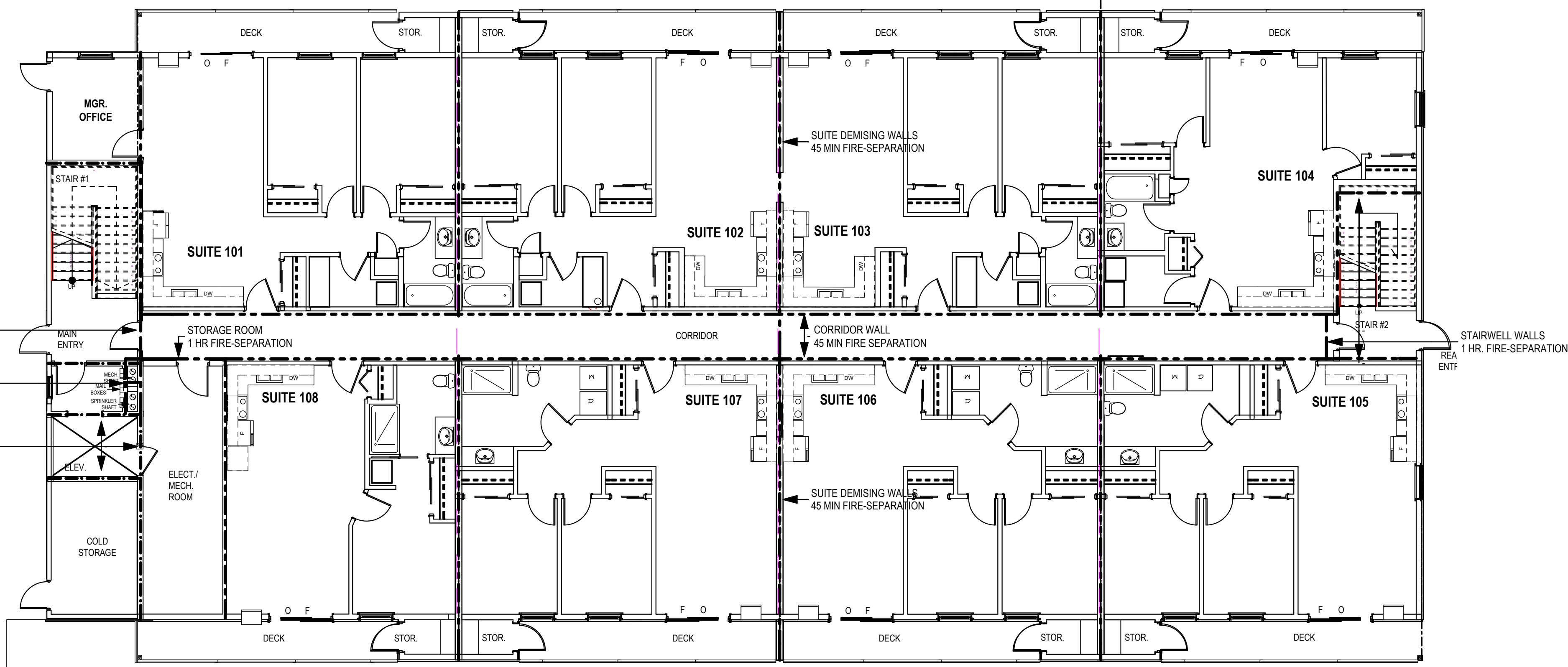
LEGEND

- 45 MIN. FIRE SEPARATION
- 45 MIN. FIRE RESISTANCE RATING
LOAD BEARING WALLS, COLUMNS, ARCHES, BEAMS 3.2.2.69.2(b)
- 1 HOUR FIRE SEPARATION
- 1 1/2 HOUR FIRE SEPARATION

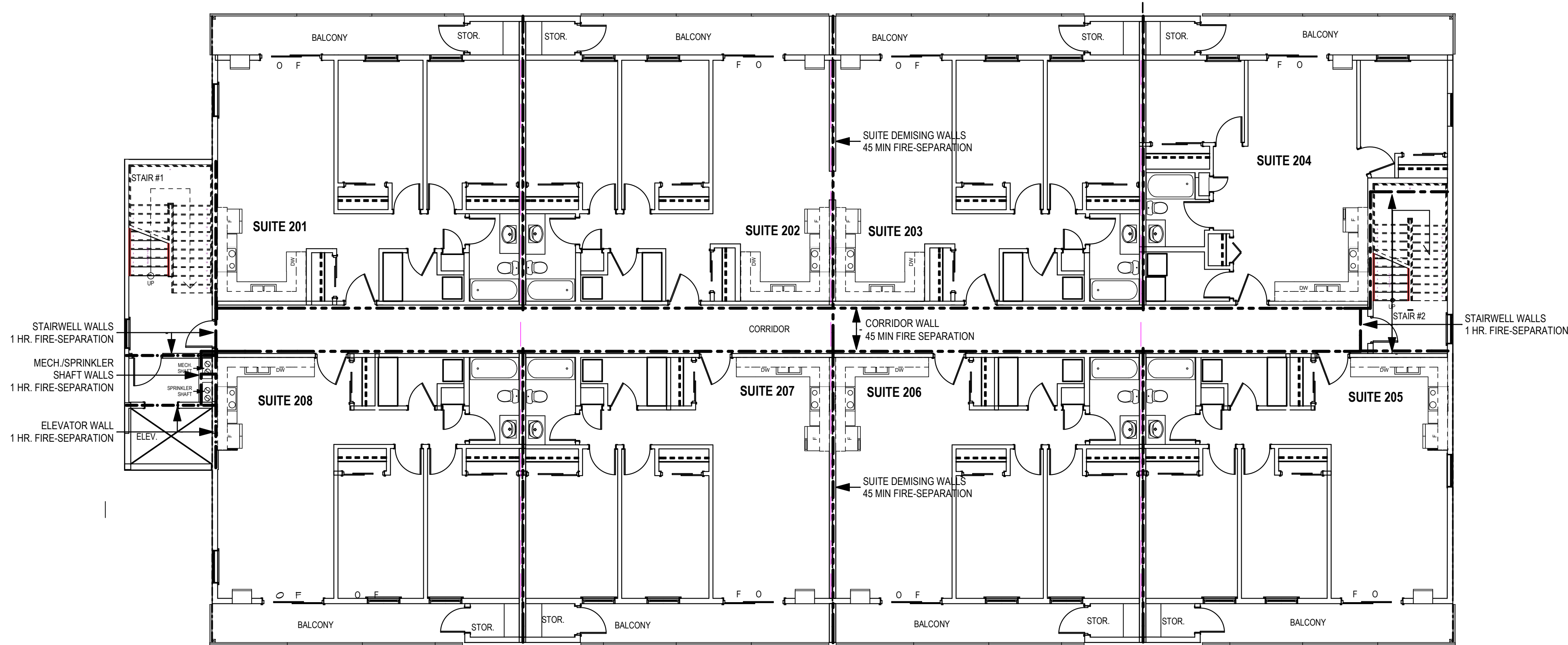
SEE KEY NOTE SHEET A0.2 FOR SPECIFIC WALL SPECIFICATIONS & CONSTRUCTION RATINGS.

- 1) EXTEND FIRE-RATED WALL ASSEMBLY OF FIRE-RATED WALLS (FIRE-SEPARATIONS) TO CEILING DRYWALL (U/S OF ROOF TRUSSES).
- 2) MECHANICAL DUCTS PENETRATING FIRE-SEPARATION SHALL CONTAIN FIRE-DAMPERS. DUCTS MAY BE SHAFTED DIRECTLY TO THE EXTERIOR IN INDIVIDUAL FIRE-RATED SHAFTS WITHOUT THE USE OF A FIRE-DAMPER. DUCTS DO NOT REQUIRE FIRE DAMPERS WHEN PENETRATING LOAD-BEARING WALLS THAT ARE FIRE-RESISTANCE RATINGS ONLY AND THAT ARE NOT FIRE-SEPARATIONS.
- 3) RATED DRYWALL APPLIED BEFORE DUCTWORK INSTALLED.

- 3.1.11.5. FIRE BLOCKS IN HORIZONTAL CONCEALED SPACES
- 1) EXCEPT FOR CRAWL SPACES CONFORMING TO SENTENCE 3.1.11.6.(1) AND AS REQUIRED IN SENTENCE (3), HORIZONTAL CONCEALED SPACES WITHIN A FLOOR ASSEMBLY OR ROOF ASSEMBLY OF COMBUSTIBLE CONSTRUCTION, IN WHICH SPRINKLERS ARE NOT INSTALLED, SHALL BE SEPARATED BY CONSTRUCTION CONFORMING TO ARTICLE 3.1.11.7. INTO COMPARTMENTS
 - b) NOT MORE THAN 300 m² IN AREA WITH NO DIMENSION MORE THAN 20m IF THE EXPOSED CONSTRUCTION MATERIALS WITHIN THE SPACE HAVE A FLAME-SPREAD RATING MORE THAN 25.



1
A0.4
CODE REVIEW MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



2
A0.4
CODE REVIEW 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"

ISSUED FOR BUILDING PERMIT	APR. 12/24	LAS
NO. DESCRIPTION	DATE	BY
DRAWING ISSUE NUMBER / REVISIONS		

STAMPS:

CLIENT:
SPAN WEST
SASKATOON, SK

PROJECT:
OSOYOOS APARTMENTS
Osoyoos, B.C.

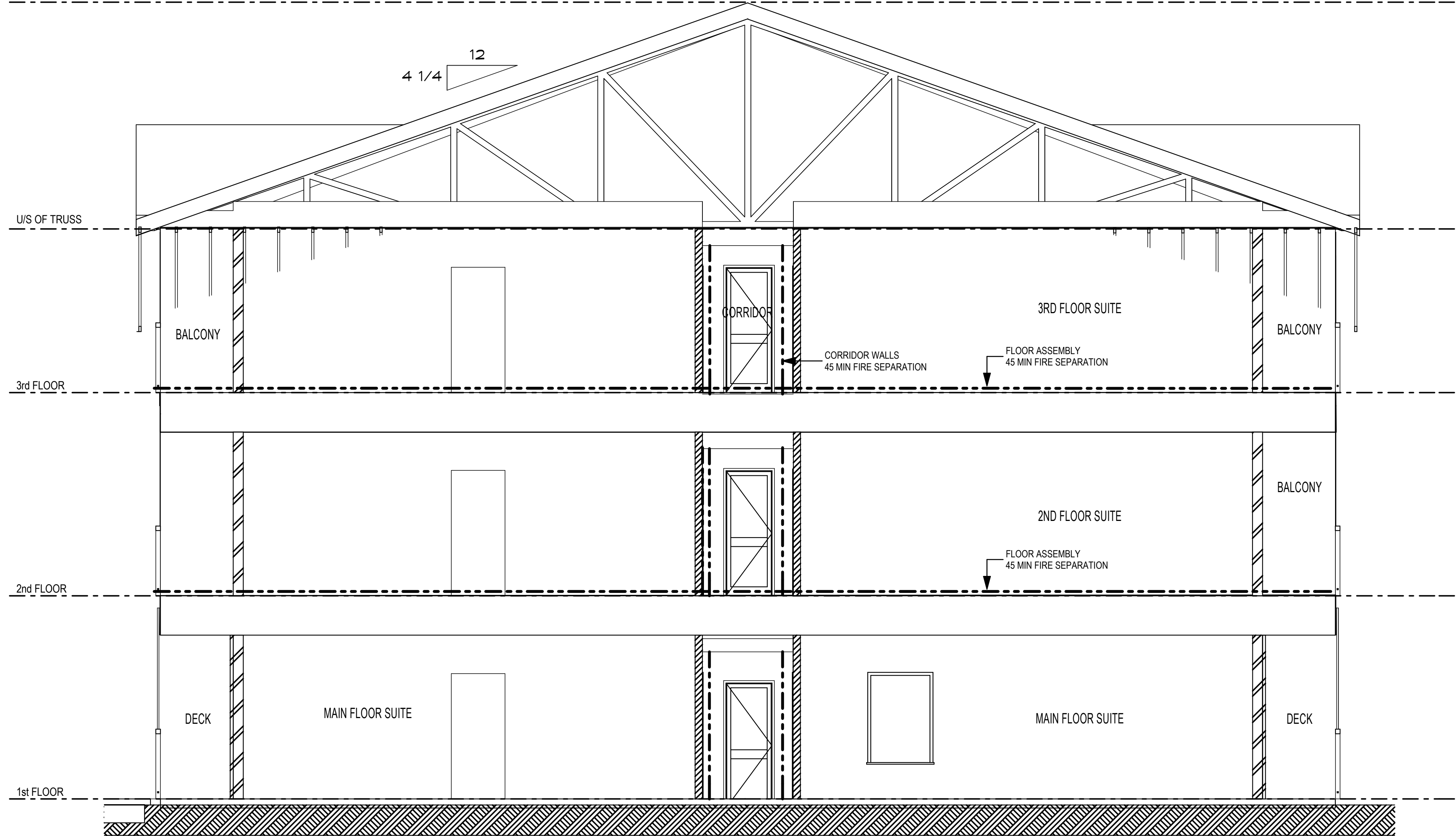
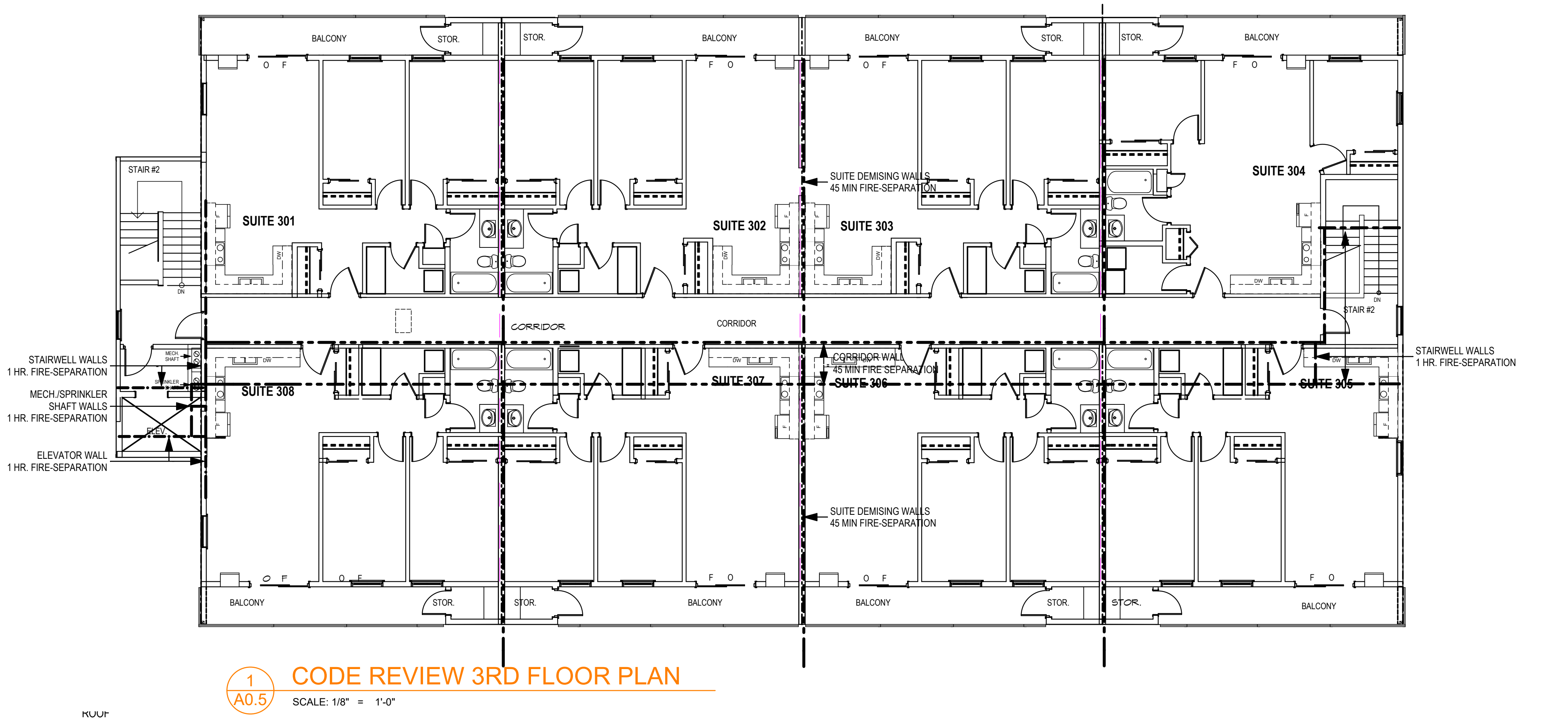
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FILE NO:

SHEET 4

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J:\Projects\2020\20-013 Remai, Condo - Osoyoos, BC\5-Osoyoos Apt Current (ArchCAD)\1-Osoyoos Apt. Current\0-Osoyoos Arch\CAD\1-Remai 24 Unit Apartment Current Set.pln



LEGEND

- 45 MIN. FIRE SEPARATION
- 45 MIN. FIRE RESISTANCE RATING
LOAD BEARING WALLS, COLUMNS, ARCHES, BEAMS 3.2.2.69.2(b)
- 1 HOUR FIRE SEPARATION
- 1 1/2 HOUR FIRE SEPARATION

SEE KEY NOTE SHEET A0.2 FOR SPECIFIC WALL SPECIFICATIONS & CONSTRUCTION RATINGS.

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b) NOT MORE THAN 300 m2 IN AREA WITH NO DIMENSION MORE THAN 20m IF THE EXPOSED CONSTRUCTION MATERIALS WITHIN THE SPACE HAVE A FLAME-SPREAD RATING MORE THAN 25.

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ISSUED FOR BUILDING PERMIT	APR. 12/24	LAS
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STAMPS:

CLIENT:

SPAN WEST
SASKATOON, SK

PROJECT:

OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE

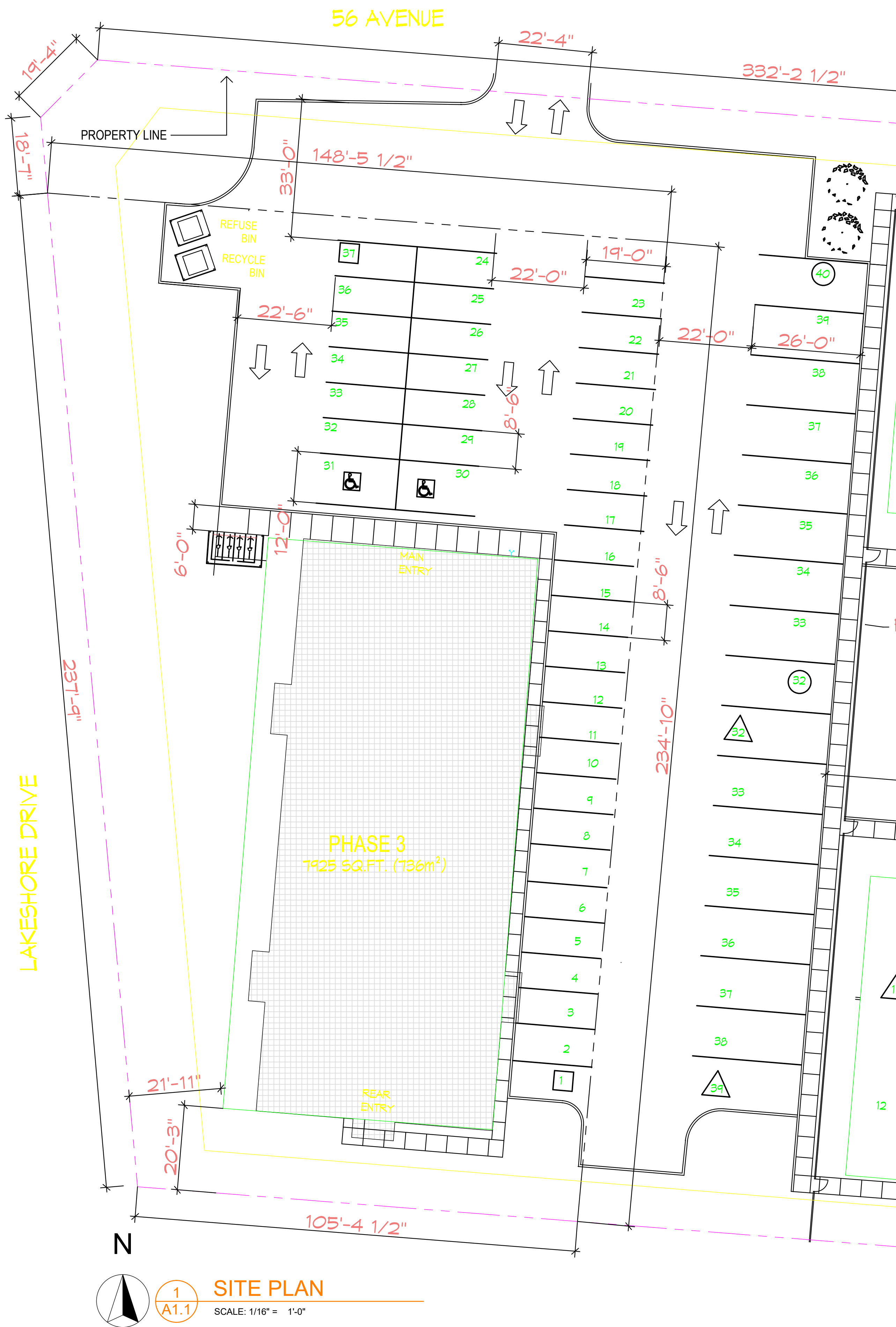
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SHEET 5

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J:\Projects\2020\20-013 Remai, Condo - Osoyoos, BC\5-Osoyoos Apt Current (ArchiCAD)\1-Osoyoos Apt. Current\0-Osoyoos ArchiCAD\1-Remai 24 Unit Apartment Current Set.pln



ZONING:
R7 - HIGH DENSITY RESIDENTIAL
MULTIPLE FAMILY DWELLING

SITE AREA = 29,808 SQ. FT. (2,769 SQ. M) (0.276 HECTARE)
0.276 HECTARES = 21 UNITS

APARTMENT BUILDING FOOTPRINT = 7,925 SQ. FT. (736 SQ. M)

BUILDING HEIGHT = 37'-7" (+/-)

MINIMUM FRONT YARD: 19'-8" (6.0 M)
MINIMUM REAR YARD : 19'-8" (6.0 M)
MINIMUM SIDE YARD APARTMENT: 14'-9" (4.5 M)

PARKING:
MULTIPLE DWELLING UNITS: 1.75 PARKING SPACES PER DWELLING
21 X 1.75 = 37 PARKING STALLS REQUIRED
= 37 PARKING STALL PROVIDED

APARTMENT: 3.2.3.1. LIMITING DISTANCE AND AREA OF UNPROTECTED OPENINGS TABLE 3.2.3.1.-D	
EXPOSING BUILDING FACE	AREA OF UNPROTECTED OPENING %
MAX. AREA m²	LIMITING DISTANCE, m
168.65 m² (N)	100% OPENINGS; 33.5m
168.65 m² (S)	52% OPENINGS; 6m
407.30 m² (E)	52% OPENINGS; 6m
407.30 m² (W)	60% OPENINGS; 6.7m

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ISSUED FOR BUILDING PERMIT	APR. 12/24	LAS
NO.	DESCRIPTION	DATE BY
DRAWING ISSUE NUMBER / REVISIONS		

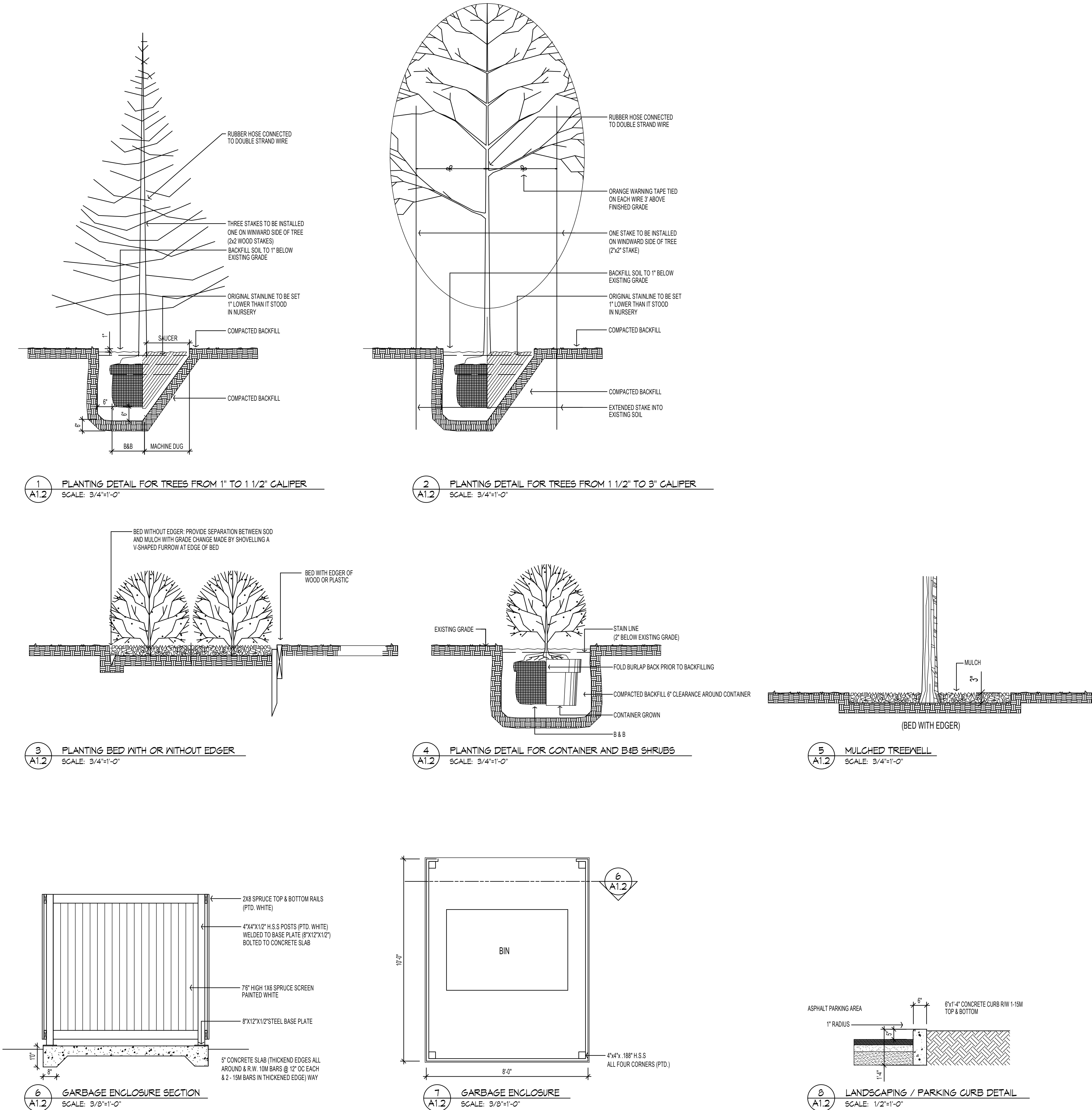
STAMPS:

CLIENT:
SPAN WEST
SASKATOON, SK

PROJECT:
OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE
SITE PLAN

J:\Projects\2020\20-013 Remai, Condo - Osoyoos, BC\5-Osoyoos Apt Current (ArchiCAD)\1-Osoyoos Apt. Current\0-Osoyoos ArchiCAD\1-Remai 24 Unit Apartment Current Set.pln



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ISSUED FOR BUILDING PERMIT	APR. 12/24	LAS
NO. DESCRIPTION	DATE	BY
DRAWING ISSUE NUMBER / REVISIONS		

STAMPS:

CLIENT:
SPAN WEST
SASKATOON, SK

PROJECT:
OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE
LANDSCAPING DETAILS

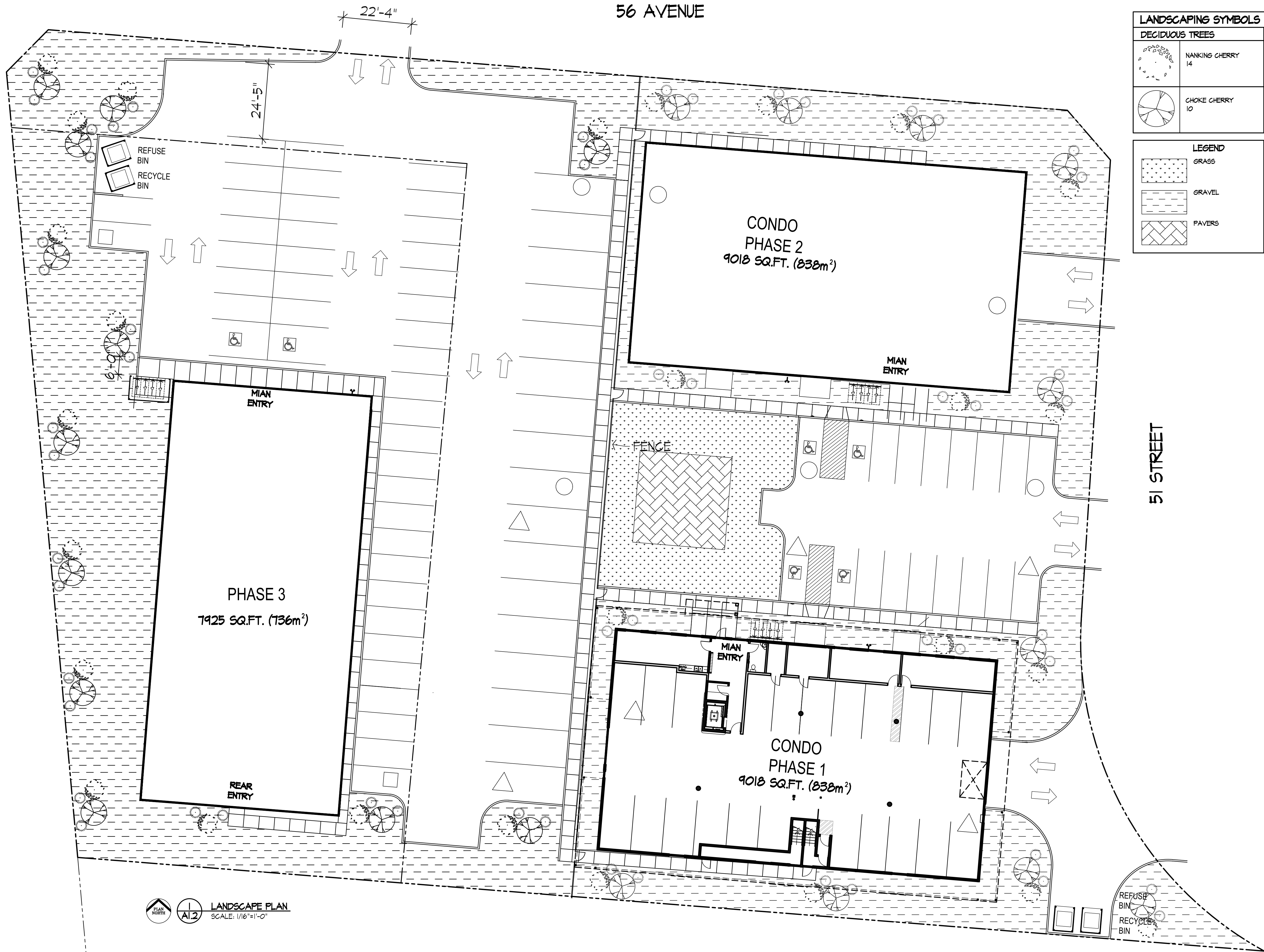
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DATE:	A1.2
DRAWN BY:	
CHKD BY:	
FILE NO:	

Filename: J:\Projects\2020\20-013 Final - Condo - Osoyoos BC1 - Osoyoos BC Current - Osoyoos BC - Final Osoyoos A1.dwg Date: 4/26/2024


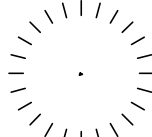
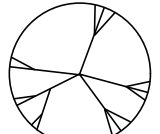
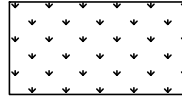
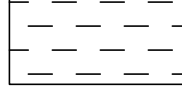

LAKESHORE DRIVE

56 AVENUE

51 STREET



LANDSCAPE PLAN
SCALE: 1/16"=1'-0"

LANDSCAPING SYMBOLS															
DECIDUOUS TREES	CONIFEROUS TREES														
	NANKING CHERRY 14		CREeping JUNIPER 28												
	CHOKE CHERRY 10	<table><tr><th colspan="2">LANDSCAPING SCHEDULE</th></tr><tr><th colspan="2">SHRUBS</th></tr><tr><th>TYPE</th><th>SIZE</th></tr><tr><td>DECIDUOUS</td><td>2 GAL. OR 10L POT</td></tr><tr><td>CONIFEROUS</td><td>2 GAL. OR 10L POT</td></tr><tr><td colspan="2">NOTES:<ul style="list-style-type: none">- DEEP IRRIGATION TO SHRUBS- SPRINKLER IN GRASS AREA</td></tr></table>		LANDSCAPING SCHEDULE		SHRUBS		TYPE	SIZE	DECIDUOUS	2 GAL. OR 10L POT	CONIFEROUS	2 GAL. OR 10L POT	NOTES: <ul style="list-style-type: none">- DEEP IRRIGATION TO SHRUBS- SPRINKLER IN GRASS AREA	
LANDSCAPING SCHEDULE															
SHRUBS															
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LEGEND															
	GRASS														
	GRAVEL														
	PAVERS														

LEGEND	
	GRASS
	GRAVEL
	PAVERS

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NO.	DESCRIPTION	DATE BY
DRAWING ISSUE NUMBER / REVISIONS		

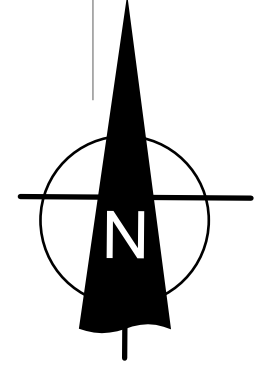
STAMPS:

CLIENT:
SPAN WEST
SASKATOON, SK

PROJECT:
OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE
Landscape Plan

SCALE:	SHEET #LayNo A1.3
DATE:	
DRAWN BY:	
CHK'D BY:	
FILE NO:	



(2)
A2.1

SCALE: 3/16" = 1'-0"
BUILDING FOOTPRINT = 8,015 Sq. Ft. (744 Sq. M.)



NOTE: EXACT LOCATION AS PER MECHANICAL

NATIONAL BUILDING CODE

9.13.4.3 ROUGH-IN FOR A SUBFLOOR DEPRESSURIZATION SYSTEM

3) THE ROUGH-IN REFERRED TO IN CLAUSE (1)(b) SHALL INCLUDE

a) A CLEAN GRANULAR MATERIAL INSTALLED BELOW THE FLOOR-ON-GROUND IN ACCORDANCE WITH SENTENCE 9.16.2.1(1), AND

b) A PIPE NOT LESS THAN 100 MM IN DIAMETER INSTALLED THROUGH THE FLOOR, SUCH THAT

i) ITS BOTTOM END OPENS INTO THE GRANULAR LAYER REQUIRED

CLAUSE (a) AT OR NEAR THE CENTRE OF THE FLOOR AND NOT LESS THAN 100 MM OF GRANULAR MATERIAL PROJECTS BEYOND THE TERMINUS OF THE PIPE MEASURED ALONG ITS AXIS (SEE A-9.13.4.3(2)(b) AND (3)(b)(i) IN APPENDIX A),

ii) ITS TOP END PERMITS CONNECTION TO DEPRESSURIZATION EQUIPMENT AND IS PROVIDED WITH AN AIRTIGHT CAP, AND

iii) THE PIPE IS CLEARLY LABELLED NEAR THE CAP AND, IF APPLICABLE, EVERY 1.8 M AND AT EVERY CHANGE IN DIRECTION TO INDICATE THAT IT IS INTENDED ONLY FOR THE REMOVAL OF RADON FROM BELOW THE FLOOR-ON-GROUND.

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NO.	DESCRIPTION	DATE	BY
DRAWING ISSUE NUMBER / REVISIONS			

STAMPS:

CLIENT:
SPAN WEST
SASKATOON, SK

PROJECT:
OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE	MAIN FLOOR PLAN CONSTRUCTION
-------	---------------------------------

SCALE: _____
 DATE: _____
 DRAWN BY: _____
 CHK'D BY: _____
 FILE NO: _____

SHEET 8

A2.1

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NO. DESCRIPTION	DATE	BY
DRAWING ISSUE NUMBER / REVISIONS		

STAMPS:

CLIENT:

SPAN WEST
SASKATOON, SK

PROJECT:

OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE

2ND FLOOR PLAN
CONSTRUCTION

SCALE:

DATE:

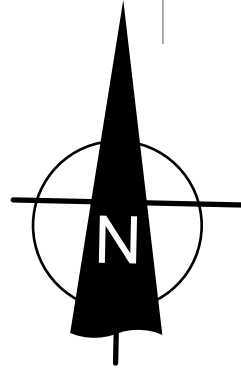
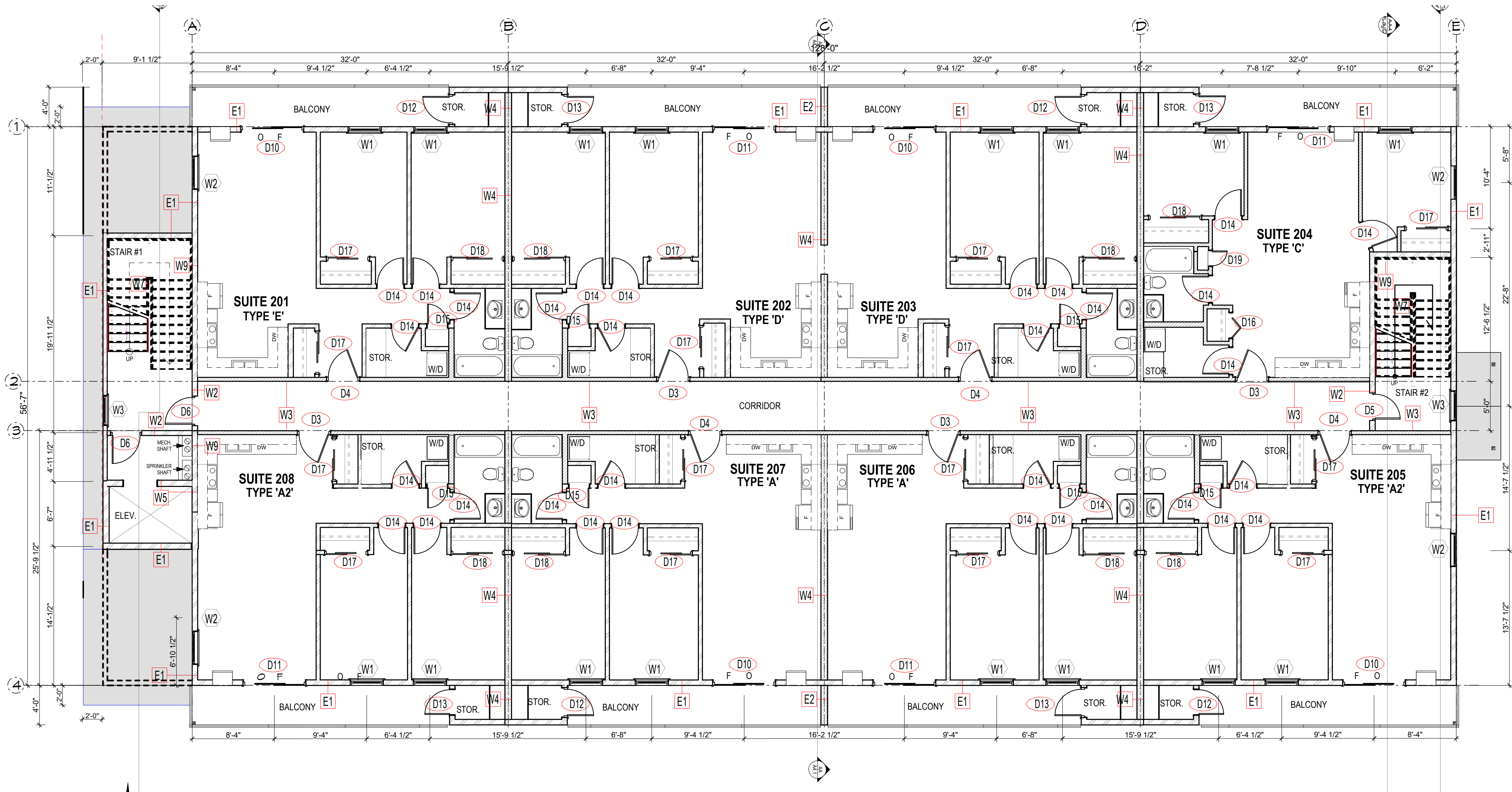
DRAWN BY:

CHKD BY:

FILE NO:

SHEET 9

A2.2



1
A2.2 2ND FLOOR PLAN CONSTRUCTION

SCALE: 3/16" = 1'-0"

BUILDING AREA = 7,683 Sq. Ft. (714 Sq. M.)

J:\Projects\2020\20-013 Remai, Condo - Osoyoos, BC\5-Osoyoos Apt Current (ArchiCAD)\1-Osoyoos Apt Current\0-Osoyoos ArchiCAD\1-Remai 24 Unit Apartment Current Set.pln

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NO. DESCRIPTION	DATE	BY
DRAWING ISSUE NUMBER / REVISIONS		

STAMPS:

CLIENT:

SPAN WEST
SASKATOON, SK

PROJECT:

OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE

3RD FLOOR PLAN
CONSTRUCTION

SCALE:

DATE:

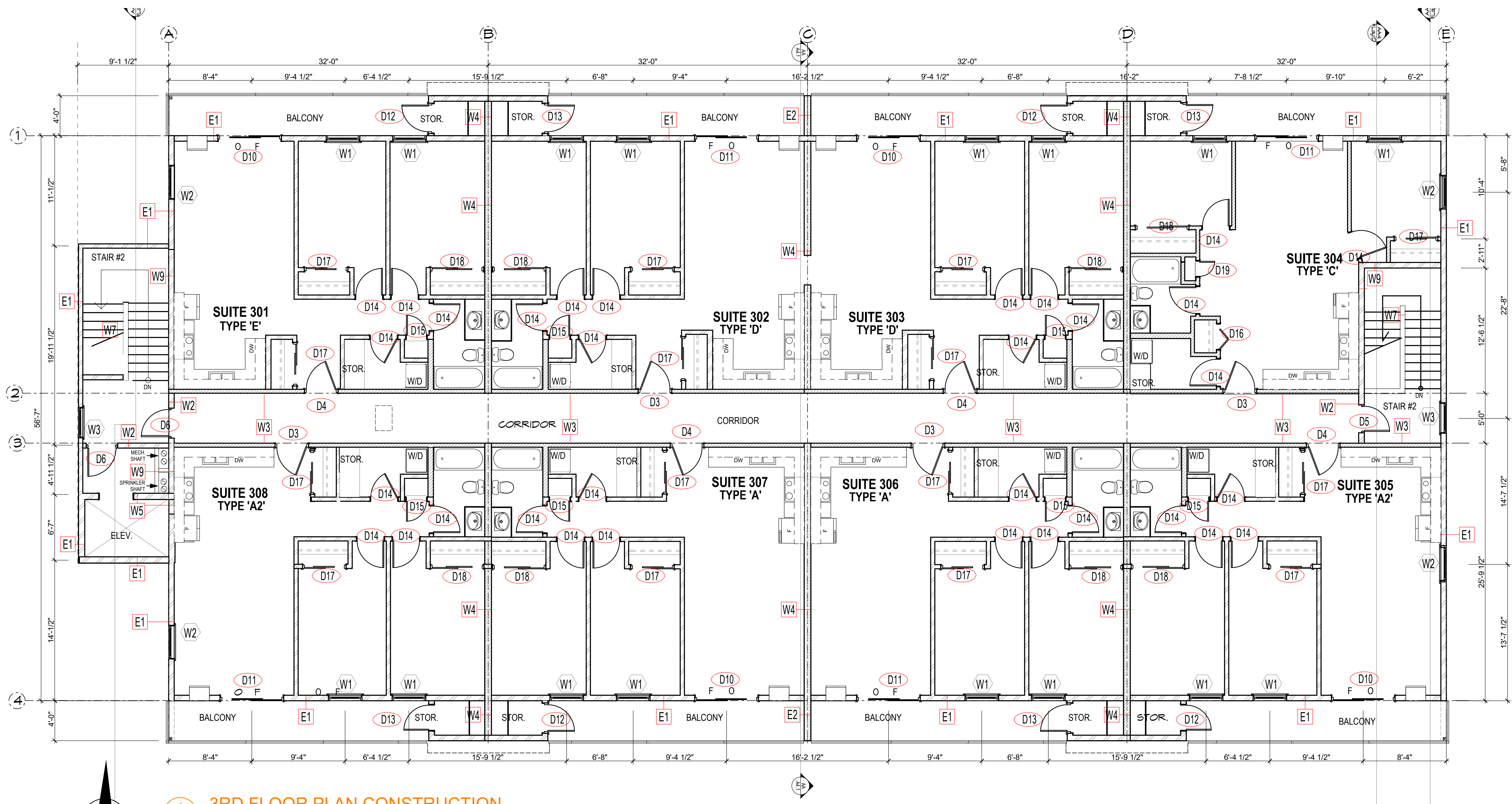
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CHKD BY:

FILE NO:

SHEET 10

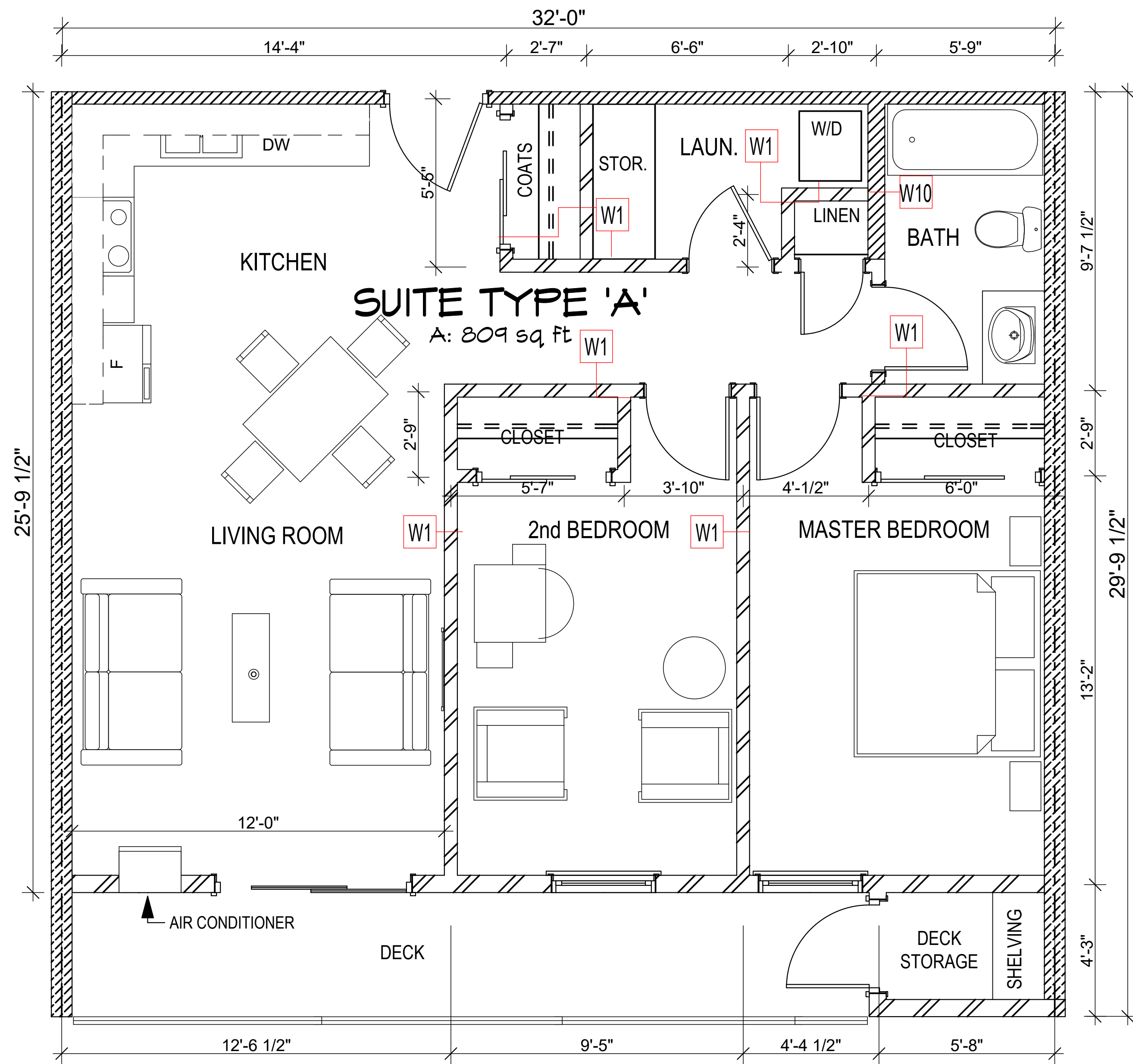
A2.3



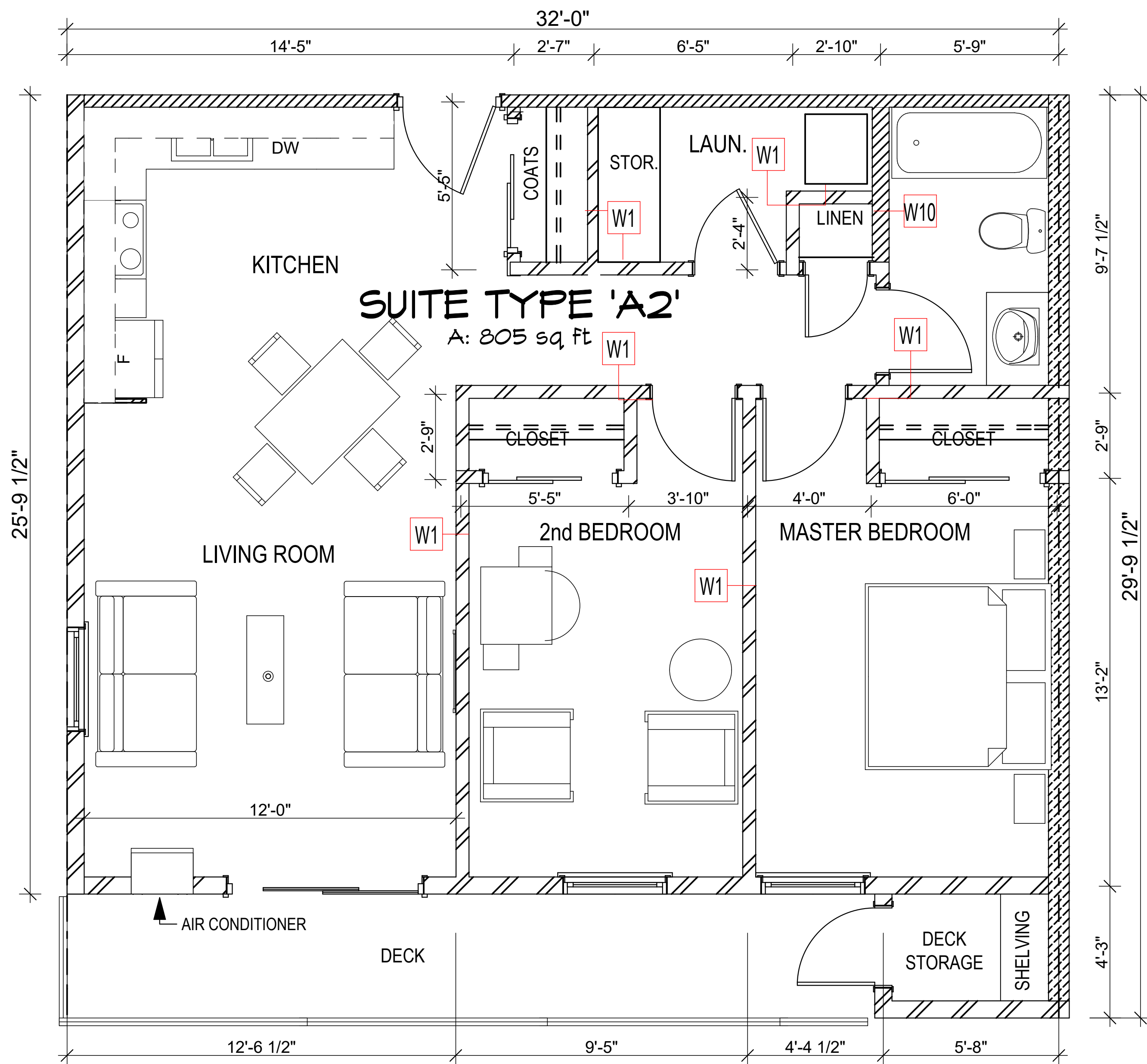
1 3RD FLOOR PLAN CONSTRUCTION

A2.3
SCALE: 3/16" = 1'-0"
BUILDING AREA = 7,683 Sq. Ft. (714 Sq. M.)

J:\Projects\2020\20-013 Remai, Condo - Osoyoos, BC\5-Osoyoos Apt Current (ArchiCAD)\1-Osoyoos Apt. Current\0-Osoyoos ArchiCAD\1-Remai 24 Unit Apartment Current Set.pln



1 SUITE TYPE 'A'
A2.4 SCALE: 3/8" = 1'-0"



2 SUITE TYPE 'A2'
A2.4 SCALE: 3/8" = 1'-0"

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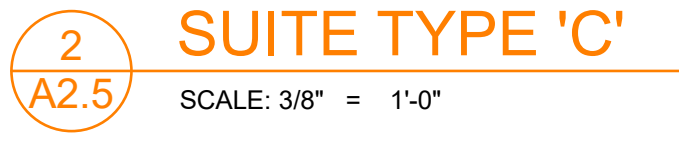
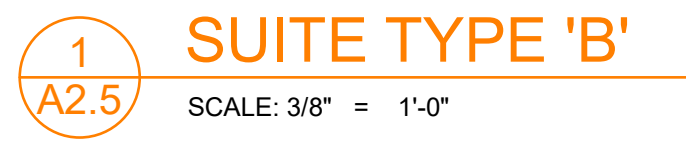
	ISSUED FOR BUILDING PERMIT	APR. 12/24	LAS
NO.	DESCRIPTION	DATE	BY
DRAWING ISSUE NUMBER / REVISIONS			

STAMPS:

CLIENT:
SPAN WEST
SASKATOON, SK

PROJECT:
OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE
SUITE TYPES 'A & A2'

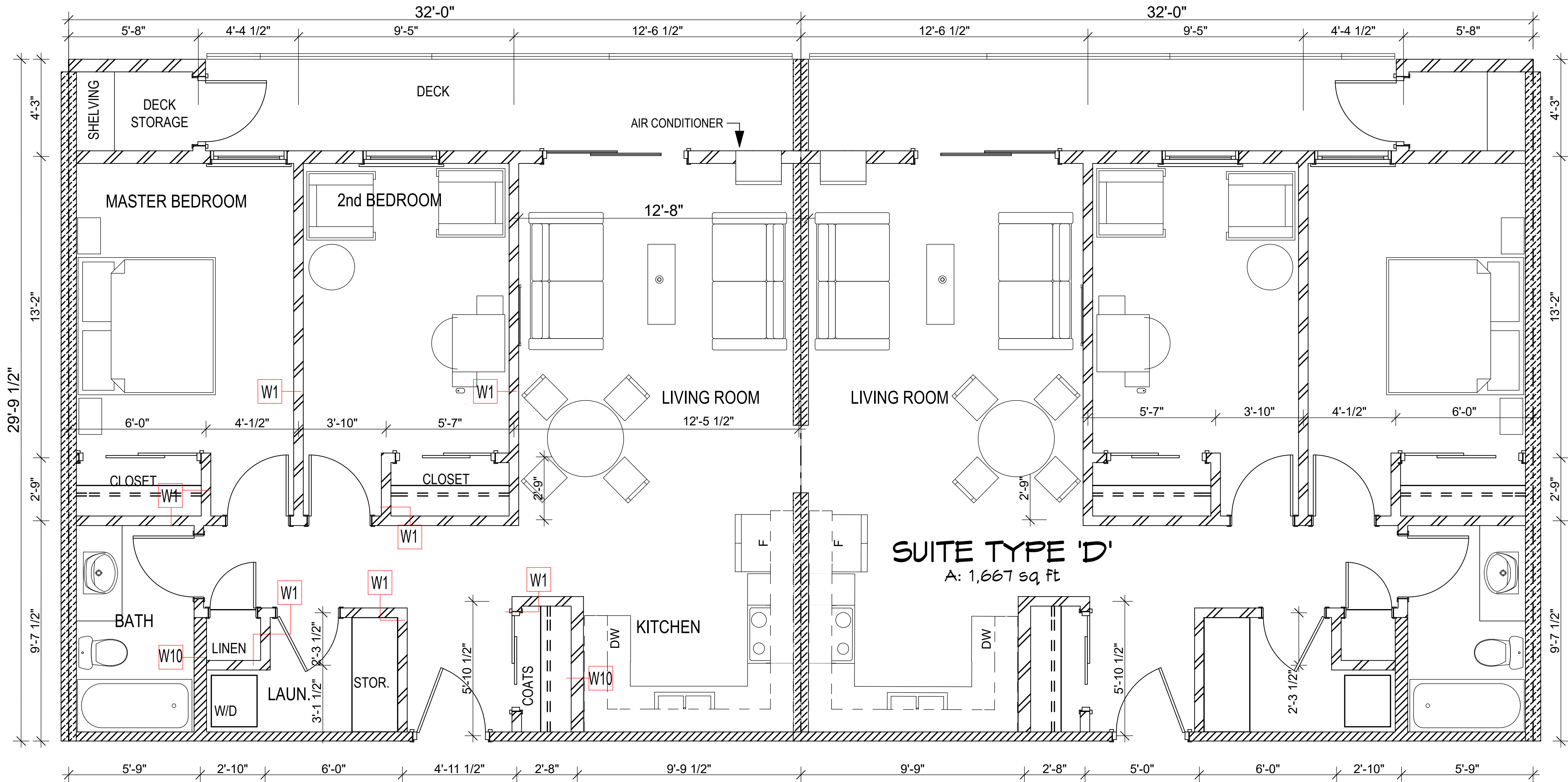


	ISSUED FOR BUILDING PERMIT	APR. 12/24	LAS
NO.	DESCRIPTION	DATE	BY
DRAWING ISSUE NUMBER / REVISIONS			

SCALE:
DATE:
DRAWN BY:
CHK'D BY:
FILE NO:

A2.5

J:\Projects\2020\20-013 Remai, Condo - Osoyoos, BC\5-Osoyoos Apt Current (ArchiCAD)\1-Osoyoos Apt. Current\0-Osoyoos ArchiCAD\1-Remai 24 Unit Apartment Current Set.pln



1 SUITE TYPE 'D'
A2.6 SCALE: 3/8" = 1'-0"

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ISSUED FOR BUILDING PERMIT	APR. 12/24	LAS
NO.	DESCRIPTION	DATE
	DRAWING ISSUE NUMBER / REVISIONS	BY

STAMPS:

CLIENT:

SPAN WEST
SASKATOON, SK

PROJECT:

OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE

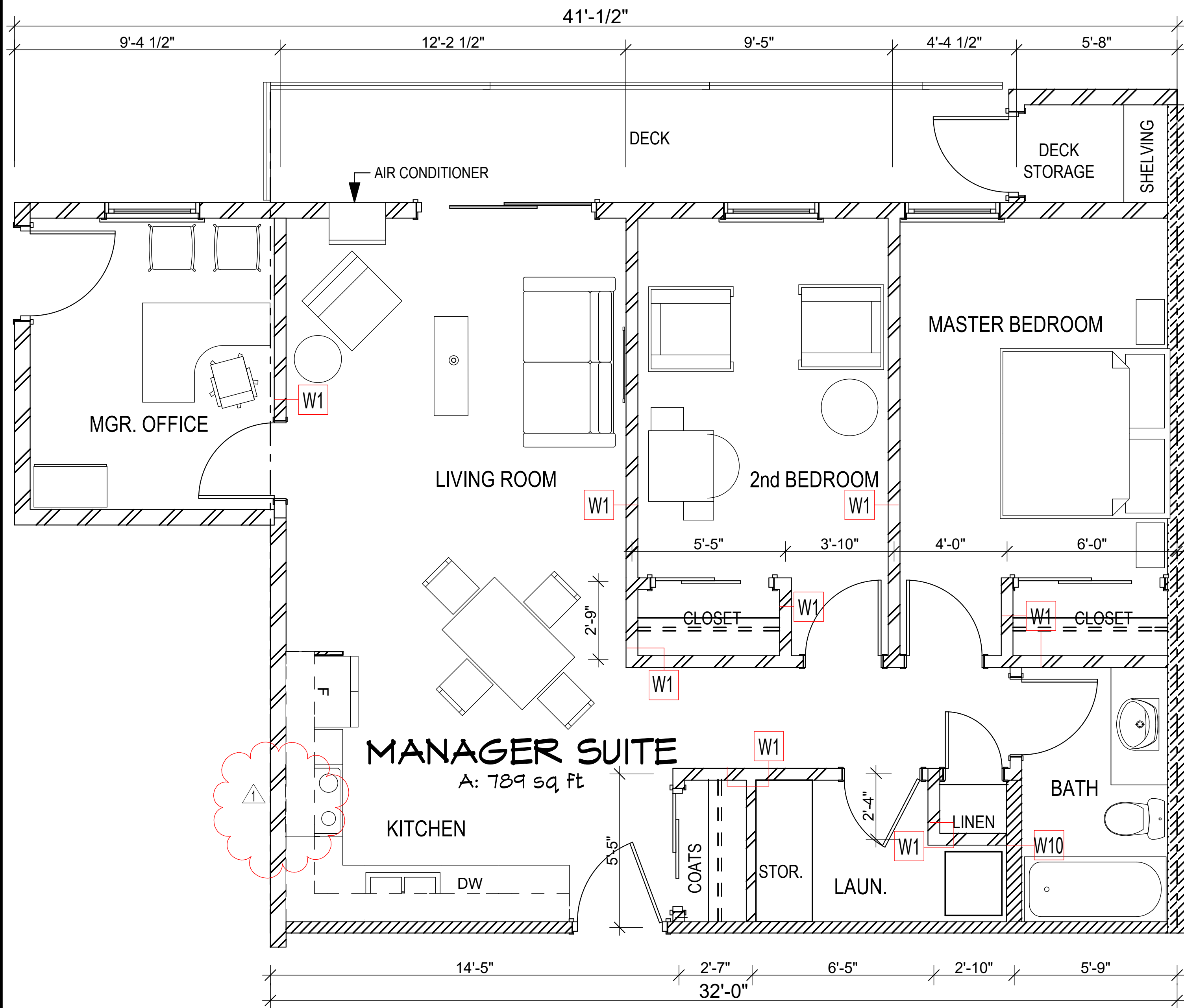
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DATE:
DRAWN BY:
CHKD BY:
FILE NO:

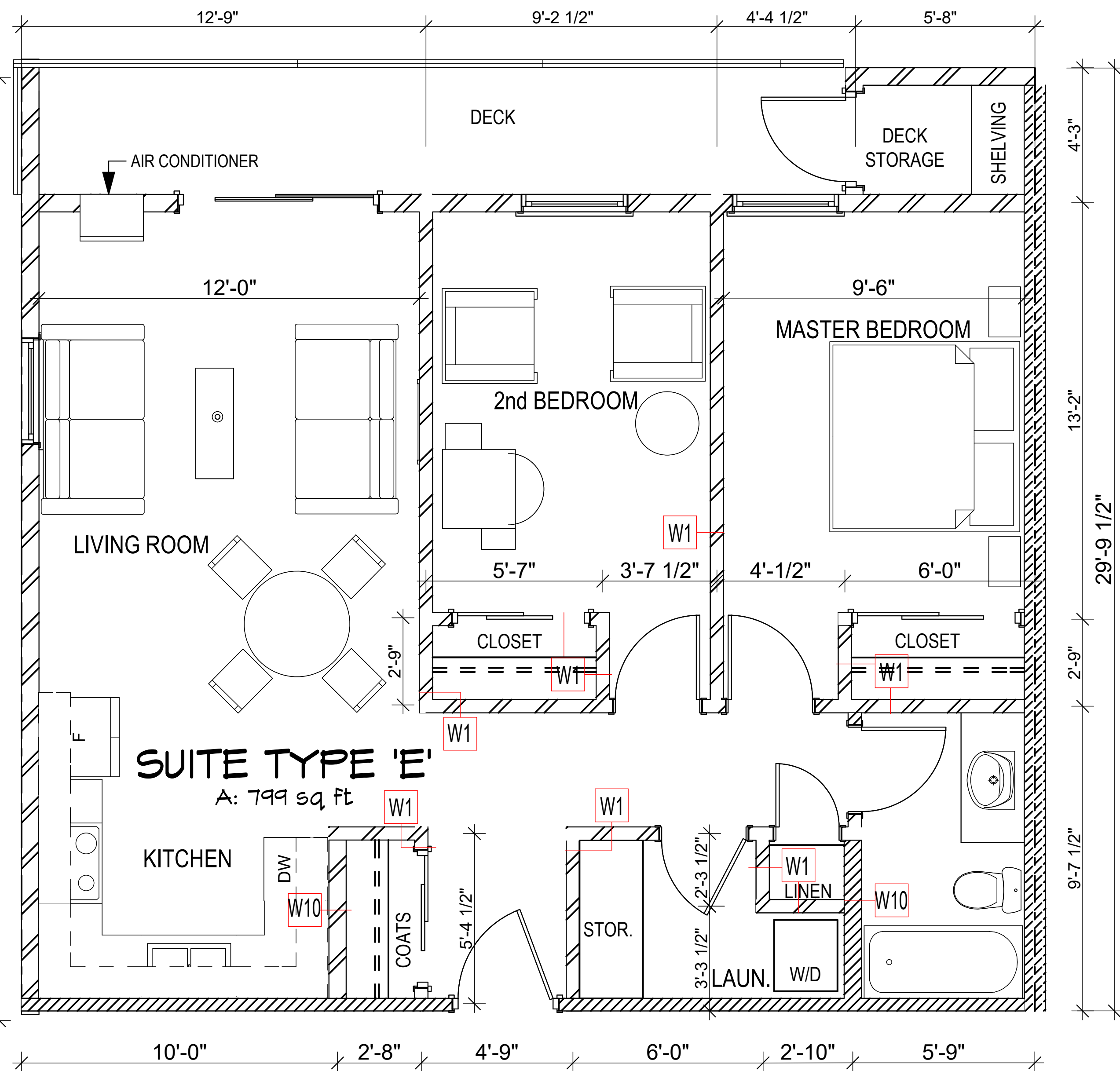
SHEET 13

A2.6

J:\Projects\2020\20-013 Remai, Condo - Osoyoos, BC\5-Osoyoos Apt Current (ArchiCAD)\1-Osoyoos Apt Current\Osoyoos ArchiCAD\1-Remai 24 Unit Apartment Current Set.pln



1
A2.7
'MANAGER' SUITE
SCALE: 3/8" = 1'-0"



3
A2.7
SUITE TYPE 'E'
SCALE: 3/8" = 1'-0"

GENERAL NOTES:

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	ISSUED FOR BUILDING PERMIT	APR. 12/24	LAS
1	Sep.18-23 remove window in Mgr. Suite		
NO.	DESCRIPTION	DATE	BY
DRAWING ISSUE NUMBER / REVISIONS			

STAMPS:

CLIENT:
SPAN WEST
SASKATOON, SK

PROJECT:
OSOYOOS APARTMENTS
Osoyoos, B.C.

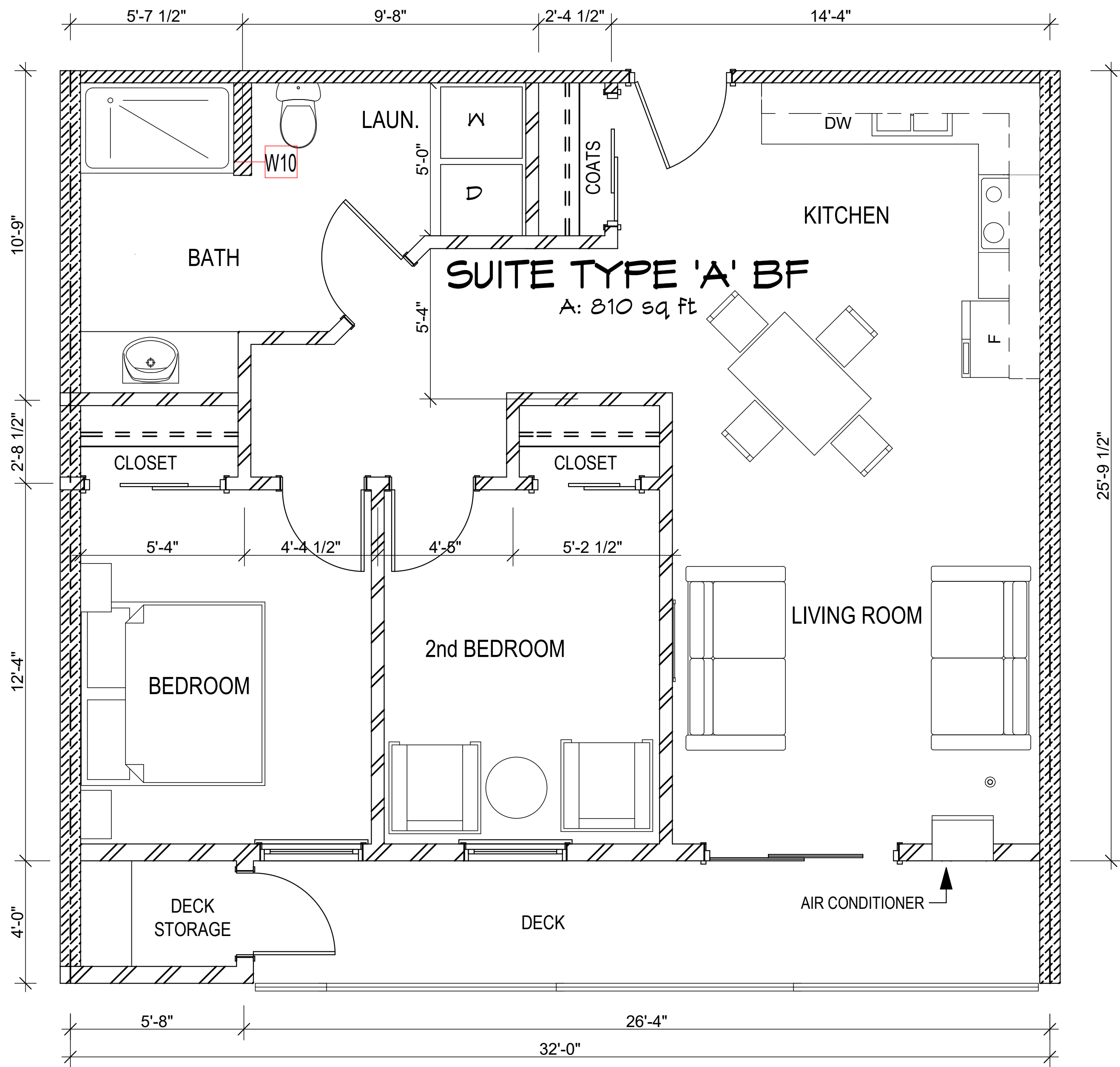
TITLE
SUITE- 'MANAGER' & "E"

SCALE:
DATE:
DRAWN BY:
CHKD BY:
FILE NO:

SHEET 14

A2.7

J:\Projects\2020\20-013 Remai, Condo - Osoyoos, BC\5-Osoyoos Apt Current (ArchiCAD)\1-Osoyoos Apt. Current\0-Osoyoos ArchiCAD\1-Remai 24 Unit Apartment Current Set.pln



1 SUITE PLAN 'A' BF
A2.8 SCALE: 3/8" = 1'-0"

GENERAL NOTES:

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NO.	DESCRIPTION	DATE	BY
DRAWING ISSUE NUMBER / REVISIONS			

STAMPS:

CLIENT:
SPAN WEST
SASKATOON, SK

PROJECT:
OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE
SUITE TYPE 'A' BF

SCALE:
DATE:
DRAWN BY:
CHKD BY:
FILE NO:

SHEET 15

A2.8

J:\Projects\2020\20-013 Remai, Condo - Osoyoos, BC\5-Osoyoos Apt Current (ArchiCAD)\1-Osoyoos Apt Current\0-Osoyoos ArchiCAD\1-Remai 24 Unit Apartment Current Set.pln



1
A3.1

WEST ELEVATION

SCALE: 3/16" = 1'-0"



2
A3.1

EAST ELEVATION

SCALE: 3/16" = 1'-0"

EXTERIOR ELEVATION COLOURS:
Kaycan (Royal Journeyman) Siding - 'Clay'
Dark Gray Asphalt Shingles
Dark Cultured Stone
Gable End Shake Siding - Dark Gray
Black Window, Handrails and Trim

GENERAL NOTES:

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NO. DESCRIPTION	DATE	BY
DRAWING ISSUE NUMBER / REVISIONS		

STAMPS:

CLIENT:

SPAN WEST
SASKATOON, SK

PROJECT:

OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE

NORTH & SOUTH
ELEVATIONS

SCALE:
DATE:
DRAWN BY:
CHKD BY:
FILE NO:

SHEET 16

A3.1

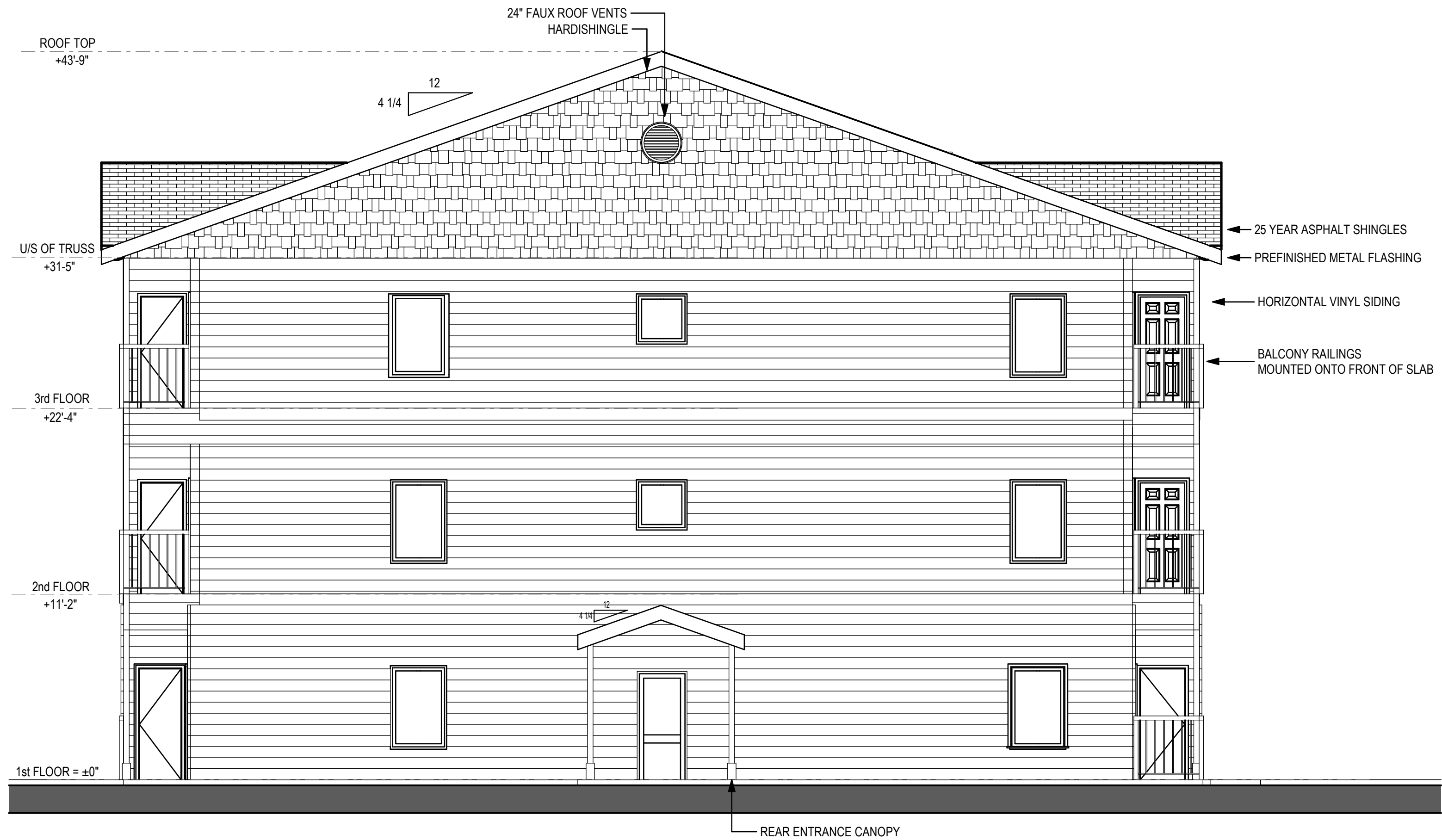
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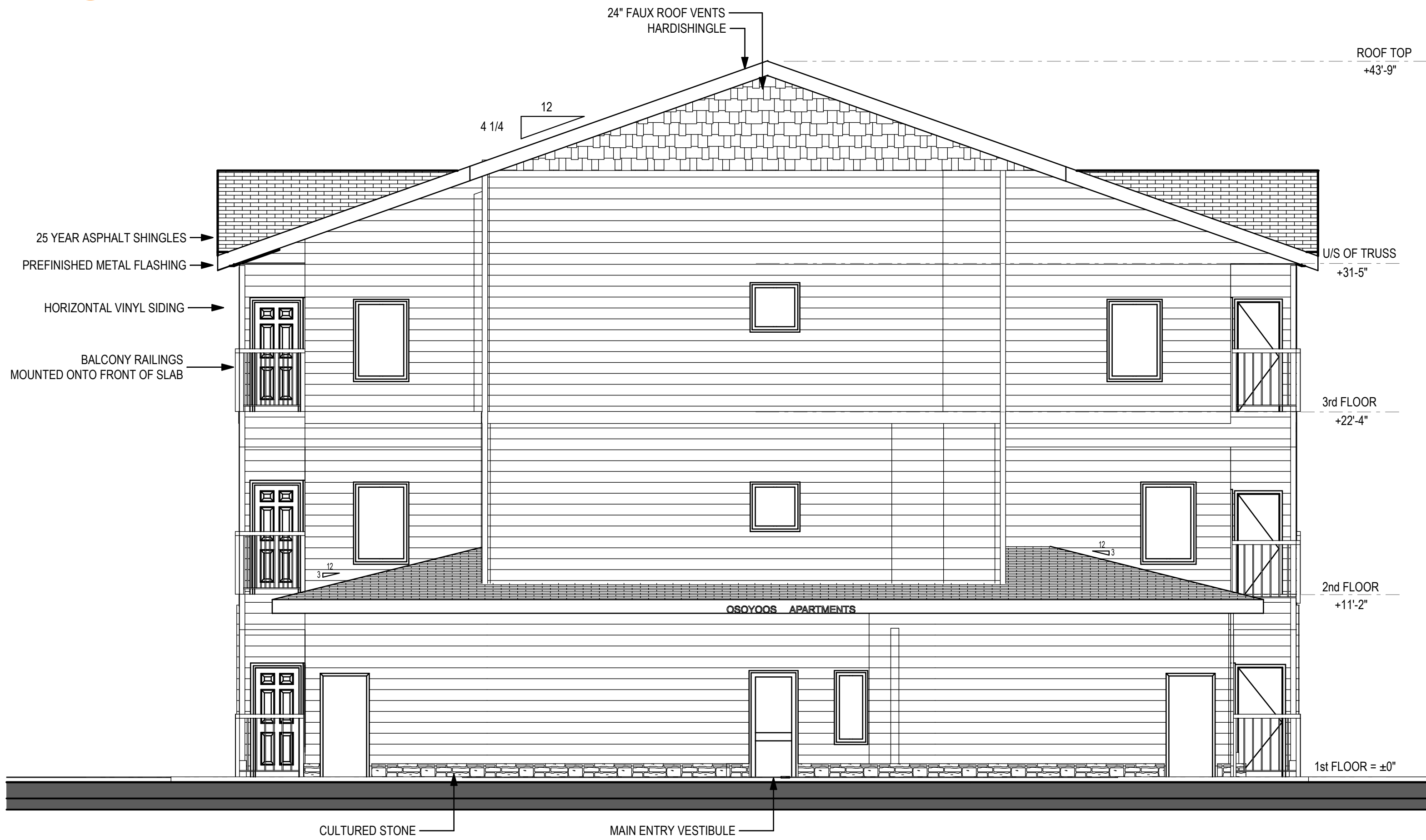
3 SOUTH ELEVATION PERSPECTIVE
A3.2 SCALE: 1:45.34



4 NORTH ELEVATION PERSPECTIVE
A3.2 SCALE: 1:43.57



1 SOUTH ELEVATION
A3.2 SCALE: 3/16\"/>



2 NORTH ELEVATION
A3.2 SCALE: 3/16\"/>

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NO.	DESCRIPTION	DATE
		BY
		DRAWING ISSUE NUMBER / REVISIONS

STAMPS:

CLIENT:

SPAN WEST
SASKATOON, SK

PROJECT:

OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE
EAST & WEST
ELEVATIONS

SCALE:
DATE:
DRAWN BY:
CHKD BY:
FILE NO:

SHEET 17

A3.2

J:\Projects\2020\20-013 Remai, Condo - Osoyoos, BC\5-Osoyoos Apt Current (ArchiCAD)\1-Osoyoos Apt. Current\0-Osoyoos ArchiCAD\1-Remai 24 Unit Apartment Current Set.pln

ryan schmidt

architecture studio ltd

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DRAWING ISSUE NUMBER / REVISIONS			

STAMPS:

CLIENT:

SPAN WEST
SASKATOON, SK

PROJECT:

OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE

BUILDING SECTION AA

SCALE:

DATE:

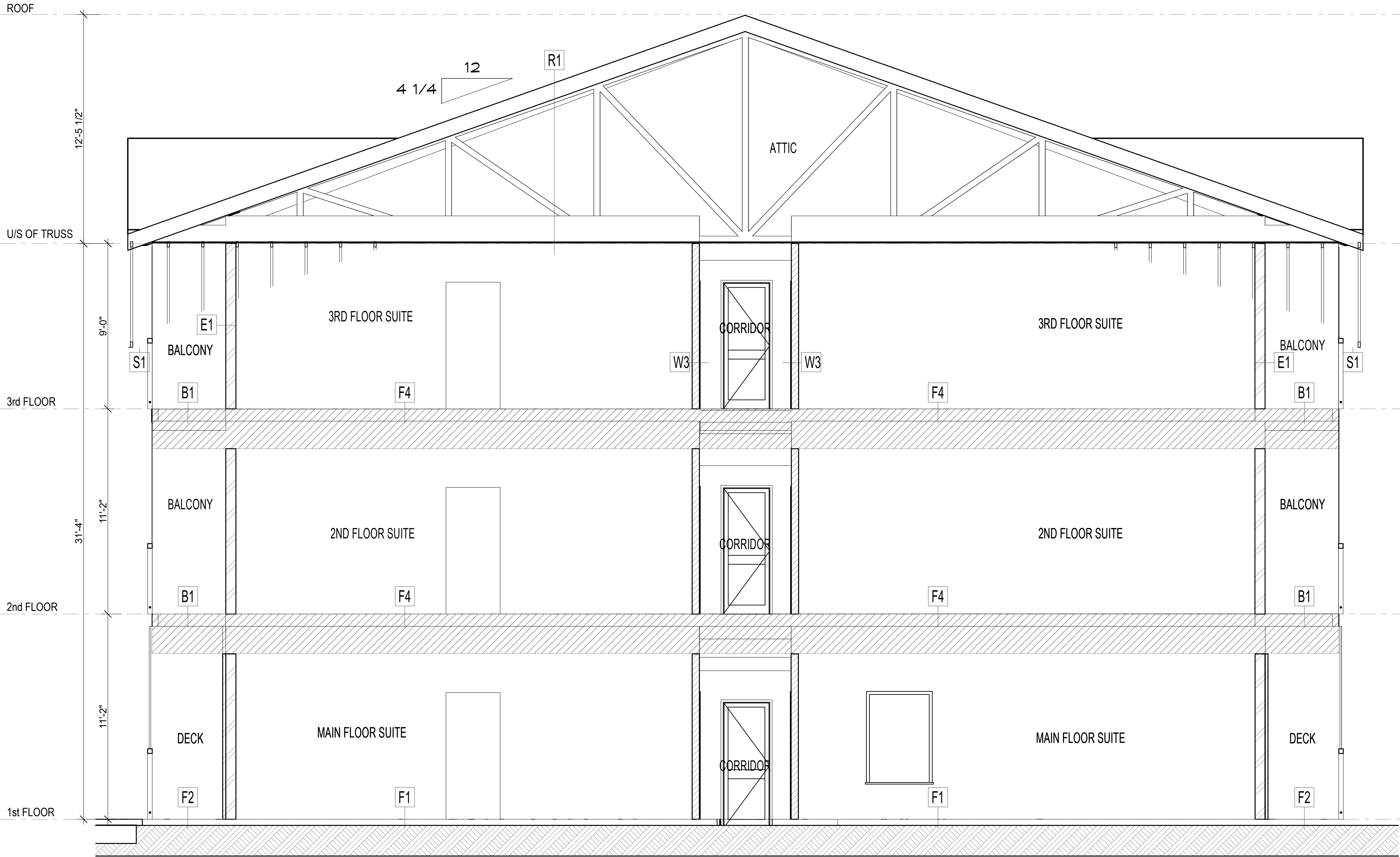
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CHKD BY:

FILE NO:

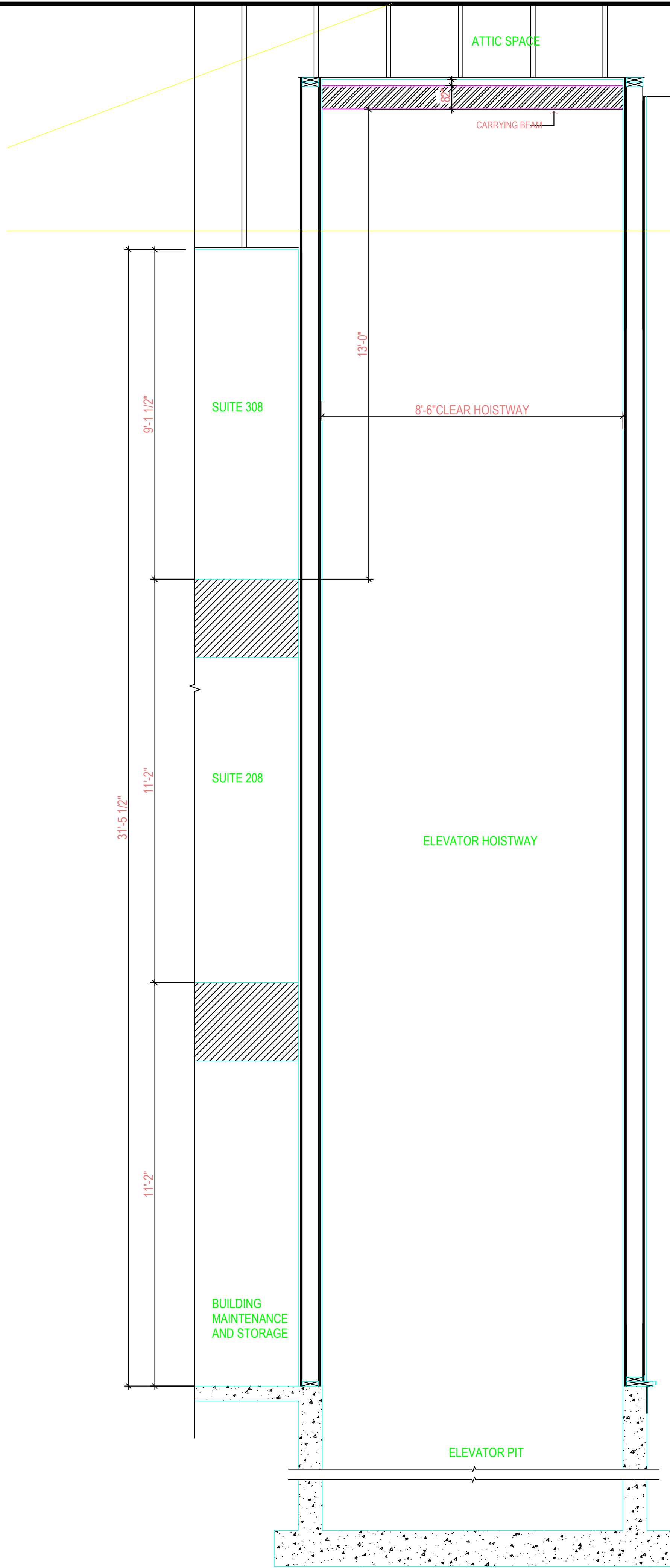
SHEET 18

A4.1

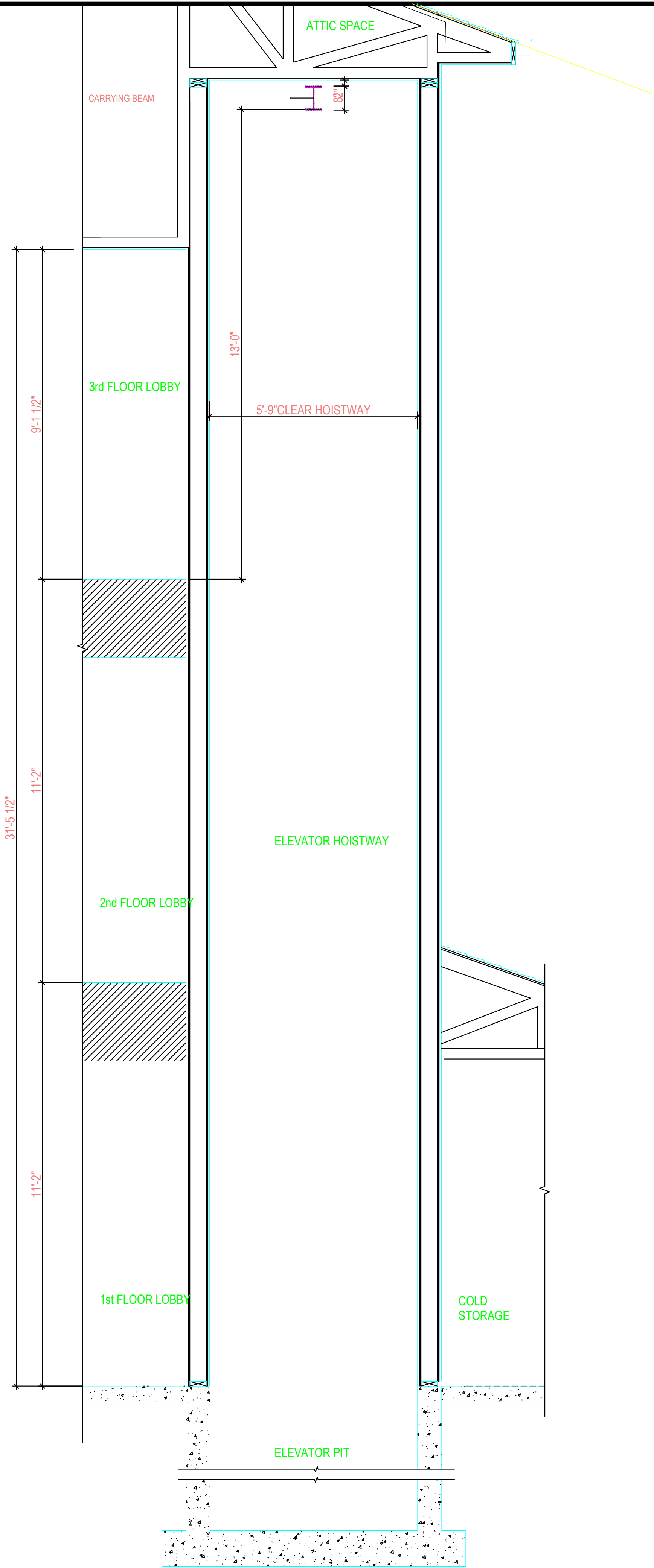


1
A4.1 BUILDING SECTION AA
SCALE: 3/8" = 1'-0"

J:\Projects\2020\20-013 Remai, Condo - Osoyoos, BC\5-Osoyoos Apt Current (ArchiCAD)\1-Osoyoos Apt. Current\0-Osoyoos ArchiCAD\1-Remai 24 Unit Apartment Current Set.pln



1
A4.2
ELEVATOR HOISTWAY SECTION
SCALE: 1/2"=1'-0"



2
A4.2
ELEVATOR HOISTWAY SECTION
SCALE: 1/2"=1'-0"

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	ISSUED FOR BUILDING PERMIT	APR. 12/24	LAS
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DRAWING ISSUE NUMBER / REVISIONS			

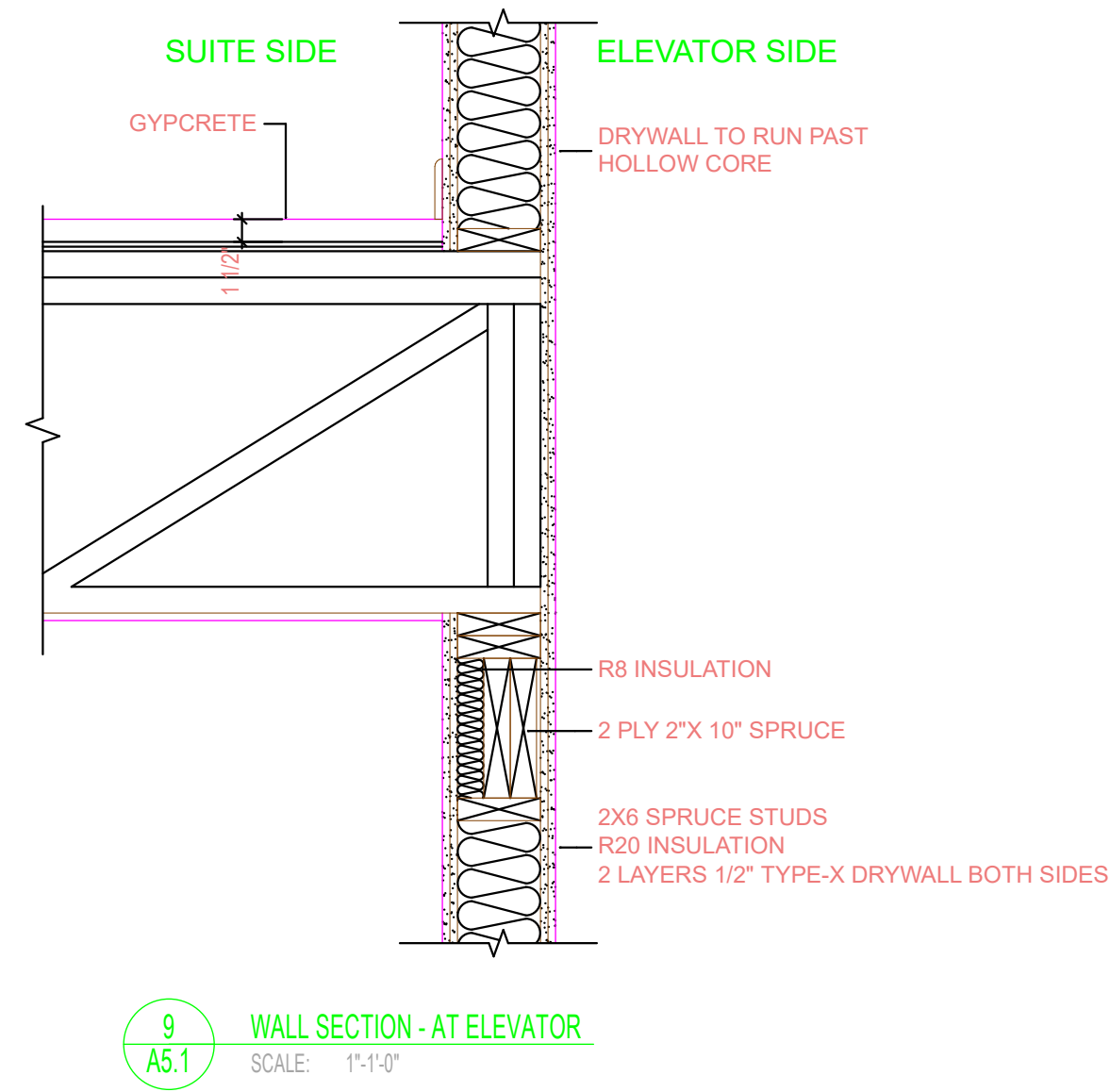
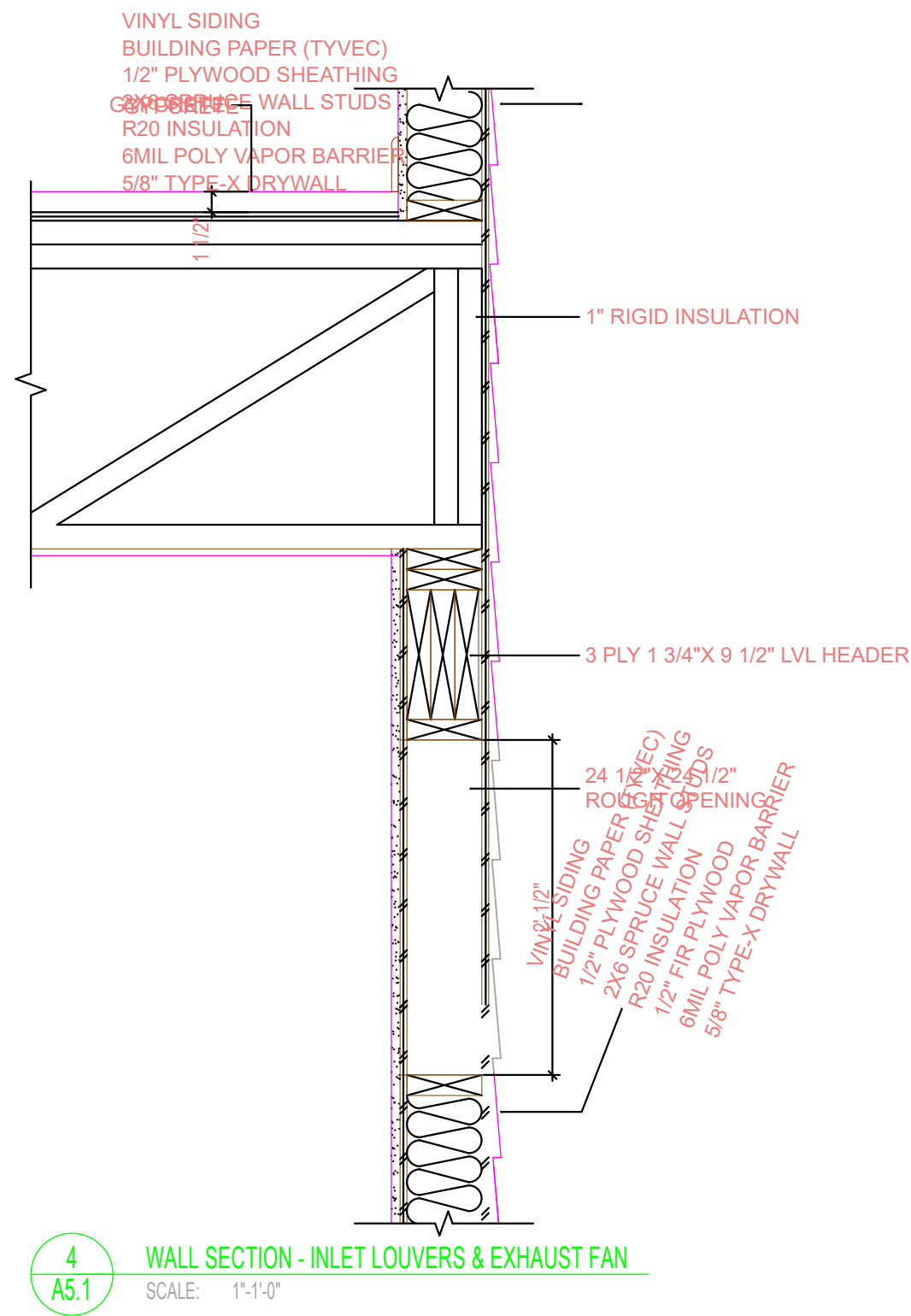
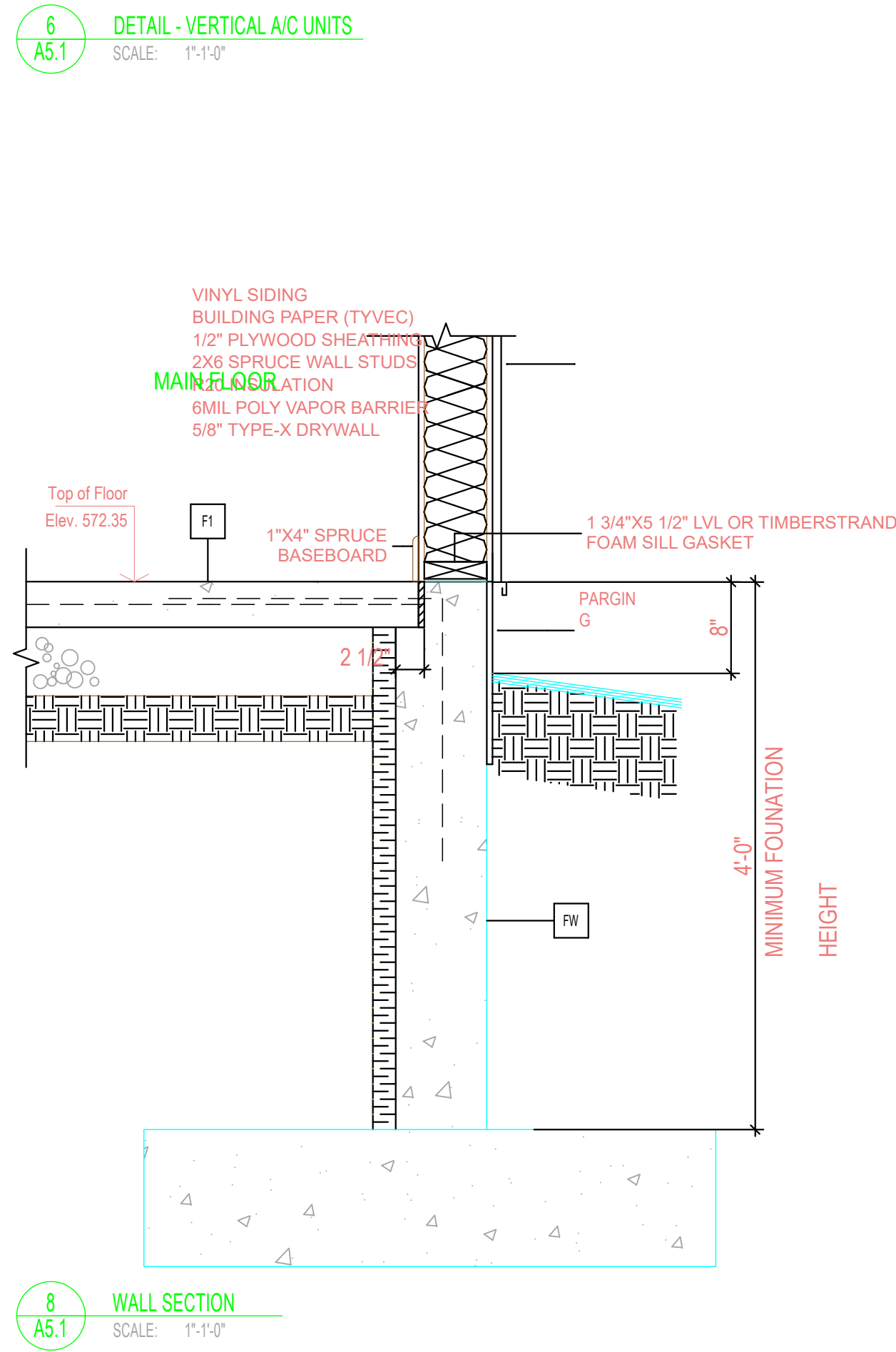
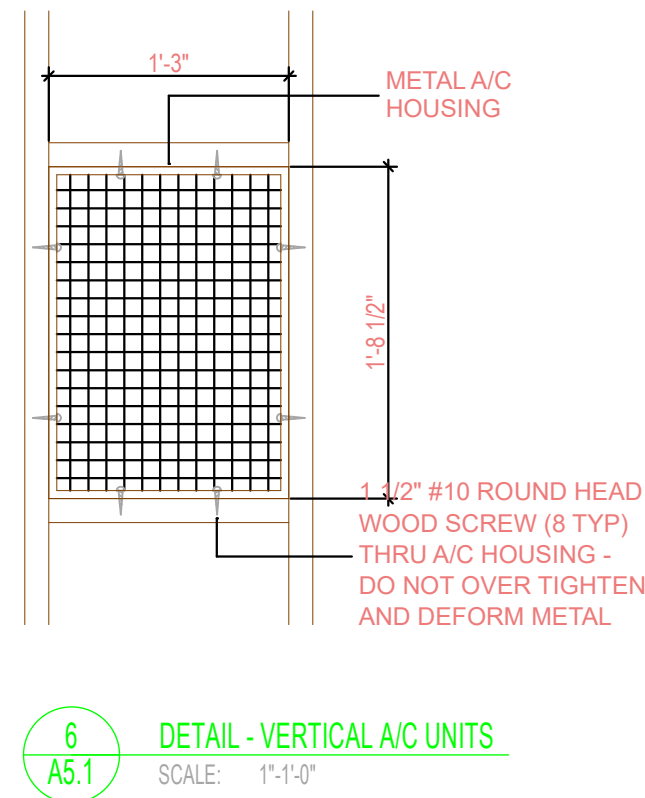
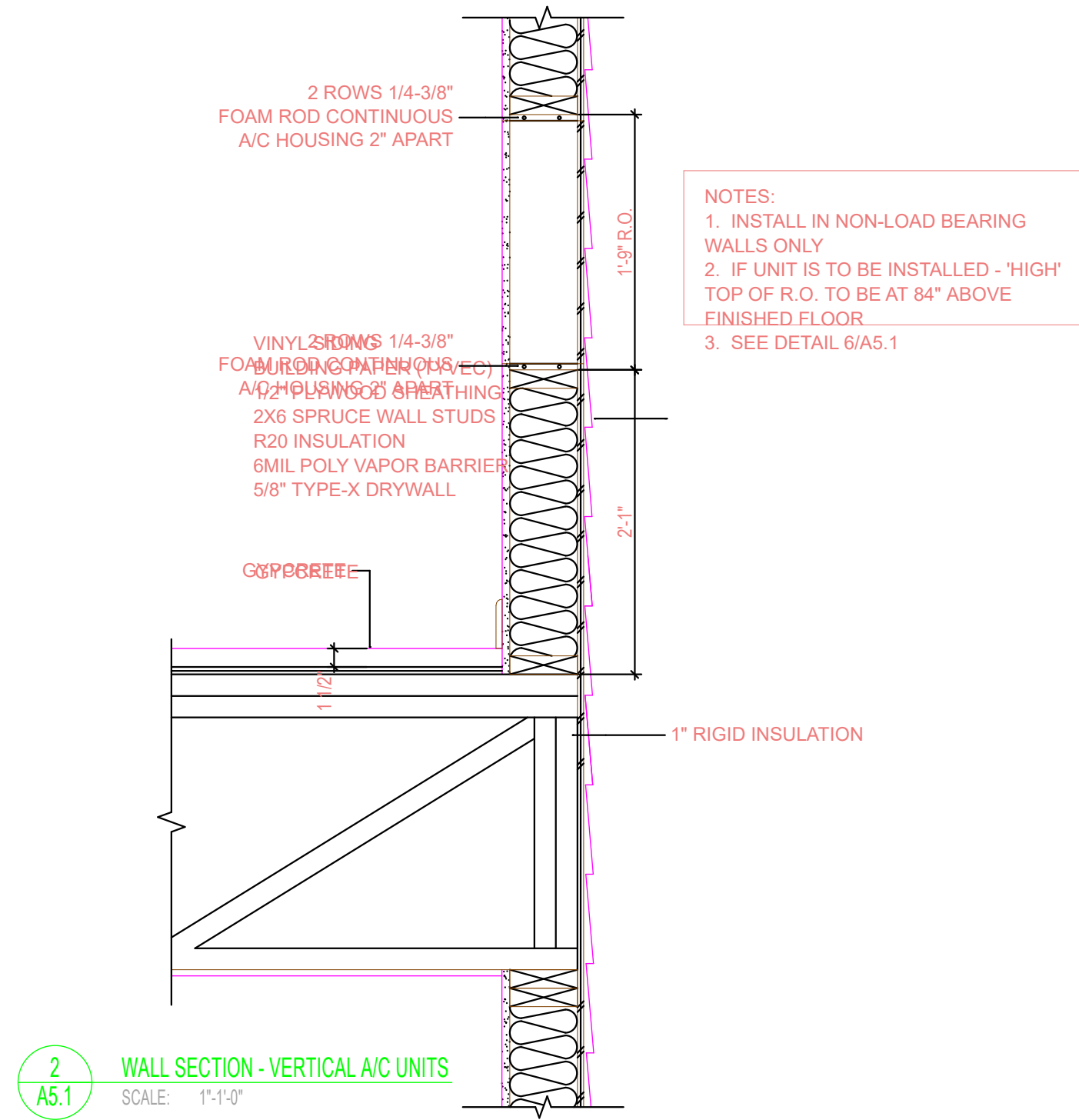
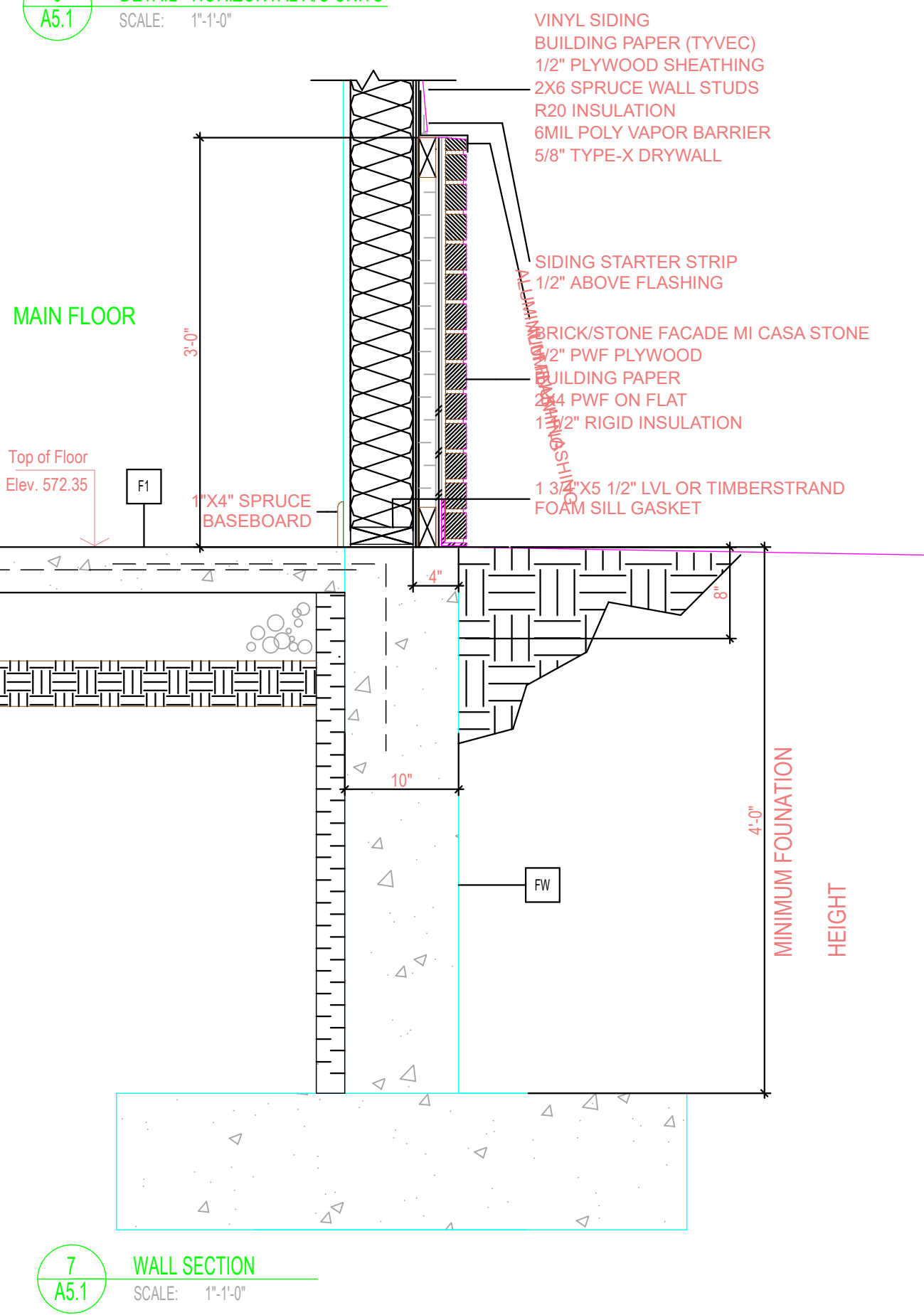
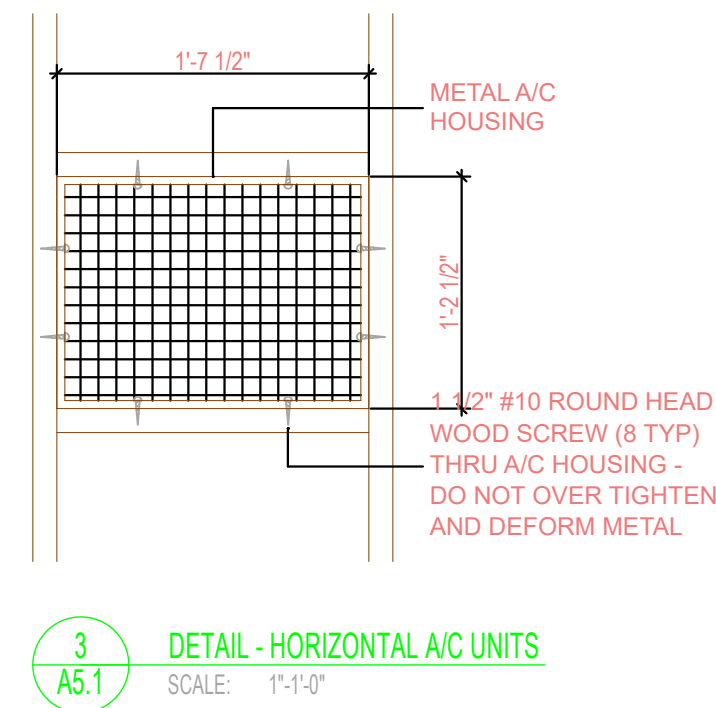
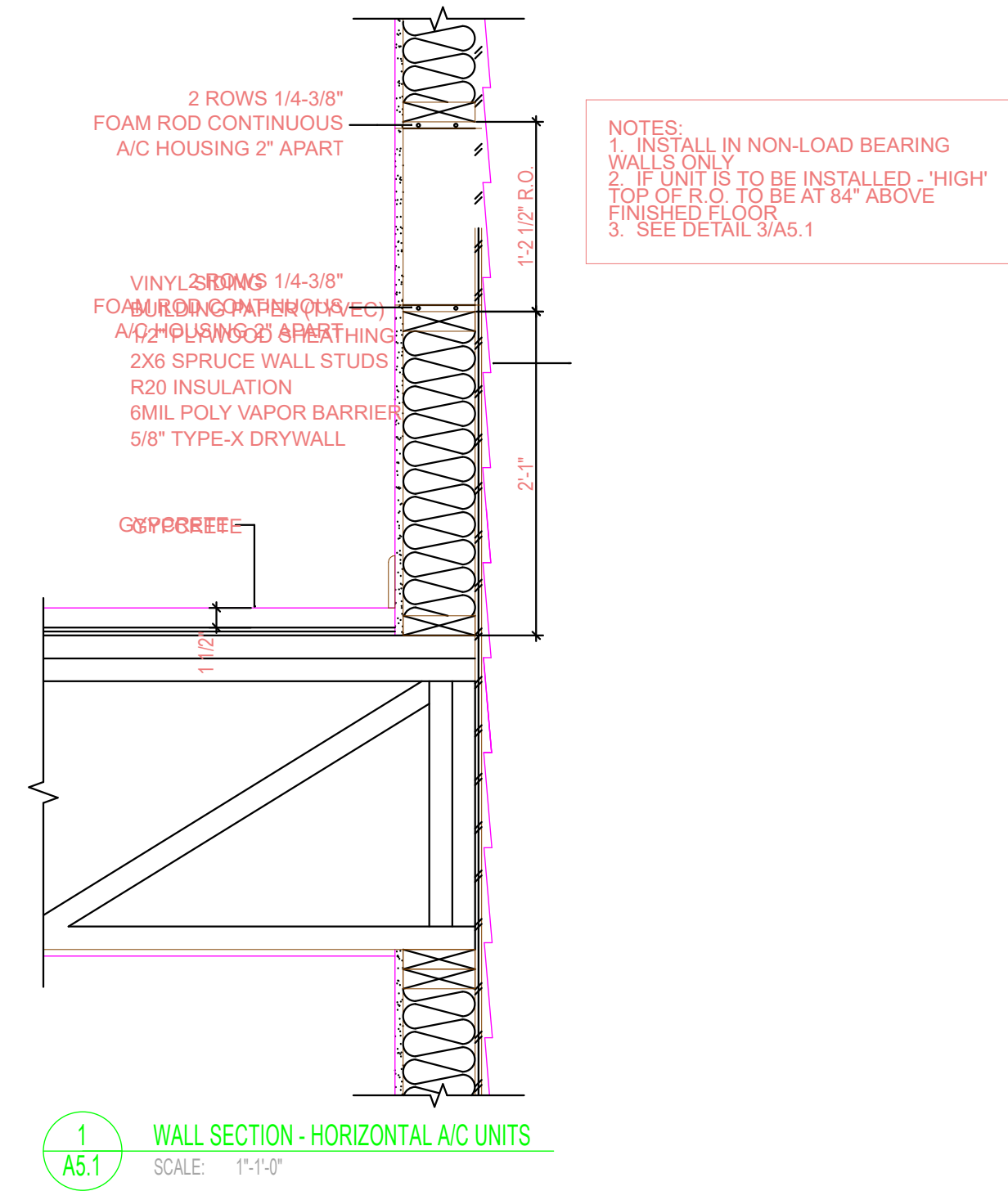
STAMPS:

CLIENT:
SPAN WEST
SASKATOON, SK

PROJECT:
OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE
ELEVATOR HOISTWAY
SECTION

SCALE:	SHEET 19
DATE:	A4.2
DRAWN BY:	
CHKD BY:	
FILE NO:	



GENERAL NOTES:

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NO.	DESCRIPTION	DATE	BY
DRAWING ISSUE NUMBER / REVISIONS			

STAMPS:

CLIENT:
SPAN WEST
SASKATOON, SK

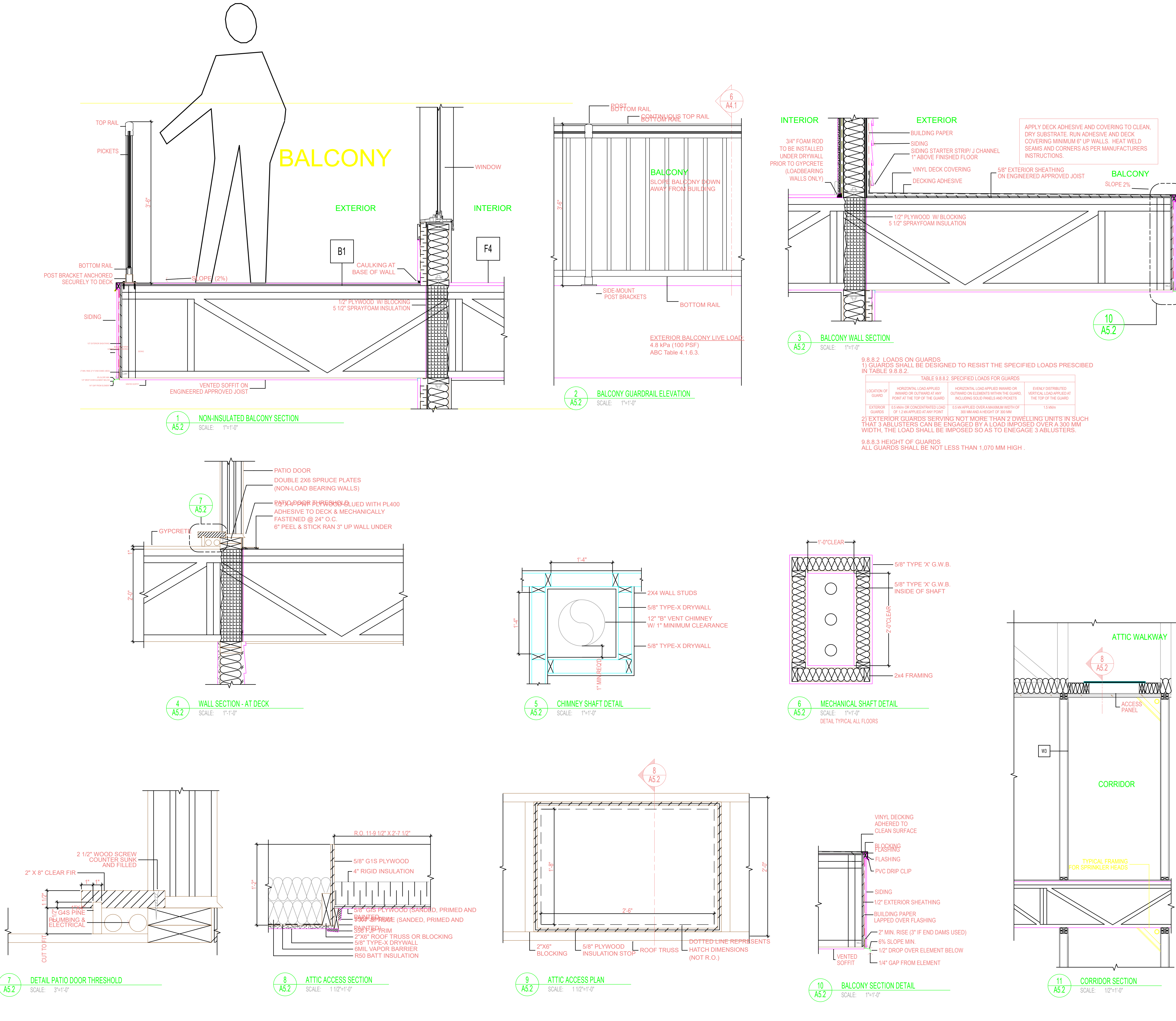
PROJECT:
OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE
WALL & MISC DETAILS

SCALE:
DATE:
DRAWN BY:
CHKD BY:
FILE NO:

SHEET 20

A5.1



ryan schmidt

architecture studio ltd

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7. THE USE OF THESE DRAWINGS IS LIMITED TO THAT IDENTIFIED IN THE REVISION COLUMN. DO NOT USE THESE DRAWINGS FOR CONSTRUCTION UNLESS THEY ARE MARKED "ISSUED FOR CONSTRUCTION".

8. THE ENGINEER(S) / ARCHITECT(S) ARE RESPONSIBLE ONLY FOR ITEMS NOTED ON THIS DRAWING.

9. THE ENGINEER(S) / ARCHITECT(S) DO NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR METHODS, CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES, FOR SAFETY PRECAUTION AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

10. THESE DRAWINGS AND DESIGNS ARE COPYRIGHTED AND REMAIN THE EXCLUSIVE PROPERTY OF RYAN SCHMIDT ARCHITECTURE STUDIO. REPRODUCTION OR USE WITHOUT PRIOR CONSENT IS STRICTLY PROHIBITED.

ISSUED FOR BUILDING PERMIT	APR. 12/24	LAS
NO. DESCRIPTION	DATE	BY
DRAWING ISSUE NUMBER / REVISIONS		

STAMPS:

CIENT:

SPAN WEST
SASKATOON, SK

PROJECT:

OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE

WALL & MISC DETAILS

SCALE:

DATE:

DRAWN BY:

CHKD BY:

FILE NO:

SHEET 21

A5.2

DOOR SCHEDULE

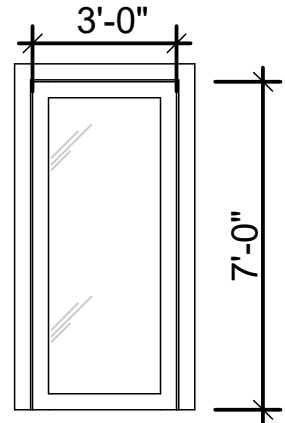
NOTES FOR DOORS:

1. ALL WOOD AND STEEL DOORS TO BE PRIMED AND PAINTED
2. FOR SPECIFIC CONFIRMATION ON HARDWARE NEEDS FOR THE DOORS CONSULT THE OWNER PRIOR TO FABRICATION.
3. ALL GLASS TINTED (SAMPLE TO BE APPROVED BY OWNER)
4. ALL EXTERIOR DOORS C/W WEATHERSTRIPPING AND ALUMINUM THRESHOLD.
5. ALL DOOR AND FRAME COLORS TO MEET APPROVAL OF OWNER.
6. ALL EXTERIOR DOOR FRAMES THERMALLY BROKEN.
7. ALL EXTERIOR DOORS TO BE INSULATED.
8. ALL FIRE-RATED DOORS AND FRAMES C/W ULC RATING LABEL.

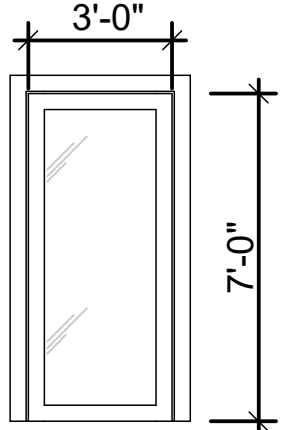
PREFINISHED METAL CLAD DOORS & JAMBS FOR MAN DOORS

DOOR FINISHES:

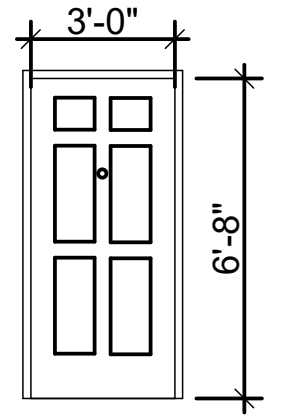
1. STAIN GRADE BI-FOLD DOOR FRAME AND CASING SHALL BE STAINED AND LACQUERED.
2. STAIN GRADE DOORS SHALL BE STAINED AND LACQUERED.
3. FINISHING OF DOORS SHALL BE ON-SITE.
4. PAINT GRADE WOOD CASINGS SHALL BE PRIMED AND PAINTED WITH 2 COATS.
5. MDF CASINGS AND PAINT GRADE MDF DOORS SHALL BE PRIMED AND PAINTED WITH 2 COATS.



D1
Front Entry door - 1 only
3'-0" x 6'-8" single entry
Left-hand out-swing
Rough opening: 40" wide x 82" high
Aluminum door and frame c/w
5MM clear tempered safety glass, dual-pane, argon filled, Low-E sealed unit
Full length cover guard
C/W security plate, latch lock with paddle (42" from bottom)
Pull 48" from bottom
Weather stripping all around
Hardware to include: adjustable threshold, sweep, heavy duty (265 lb) closer,
Keyed entry lock
Electric Strike, tied into front entry panel

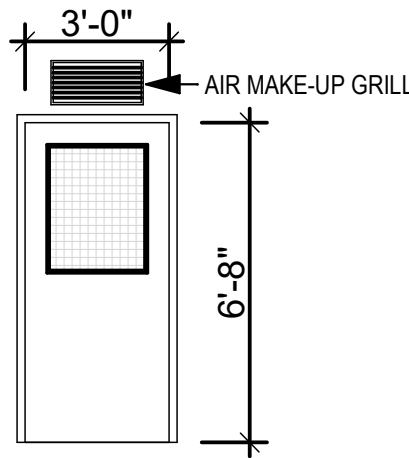


D2
Rear Entry door - 1 only
3'-0" x 6'-8" single entry
Right-hand out-swing
Rough opening: 40" wide x 82" high
Aluminum door and frame c/w
5MM clear tempered safety glass, dual-pane, argon filled, Low-E sealed unit
Full length cover guard
C/W security plate, latch lock with paddle (42" from bottom)
Pull 48" from bottom
Weather stripping all around
Hardware to include: adjustable threshold, sweep, heavy duty (265 lb) closer,
Keyed entry lock



D3
Interior Suite Entry Door - 12 only
3'-0" x 6'-8" single entry
Left-hand in-swing
20 Min. fire-rated, solid-core Primed MDF
Rough opening: 38-1/4" wide x 81-1/4" high
6-panel "Colonist" door
Expandable metal frame for 6-3/4" wood framed wall
Double-drilled for lockset and dead bolt
Hardware to include: lever-style passage set , dead bolt, 3 ball-bearing hinges, medium duty (100 lb) closer, door viewer.

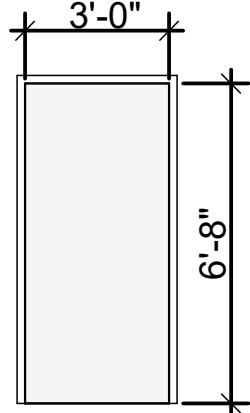
D4
Interior Suite Entry Door - 12 only
3'-0" x 6'-8" single entry
Right-hand in-swing
20 Min. fire-rated, solid-core Primed MDF
Rough opening: 38-1/4" wide x 81-1/4" high
6-panel "Colonist" door
Expandable metal frame for 6-3/4" wood framed wall
Double-drilled for lockset and dead bolt
Hardware to include: lever-style passage set , dead bolt, 3 ball-bearing hinges, medium duty (100 lb) closer, door viewer.



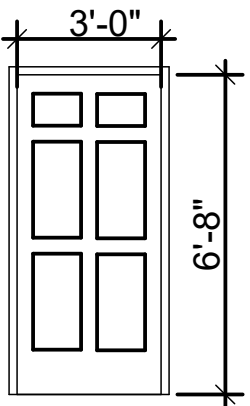
D5
Stairwell Fire Door - 3 only
3'-0" x 6'-8" single entry
Right-hand in-swing
1 hour fire-rated ULC label on door and frame
Rough opening: 38-1/4" wide x 81-1/4" high
Hollow metal door
Expandable metal frame for 4-3/4" wood framed wall
24" x 31" Fire-rated glass panel
Single-drilled for lockset
Hardware to include: lever-style passage set
3 ball-bearing hinges
medium duty (100 lb) closer
Magnetic hold-open device on corridor doors only.



D6
Corridor / Stairwell Fire Door - 6 only
3'-0" x 6'-8" single entry
Left-hand in-swing
1 hour fire-rated ULC label on door and frame
Rough opening: 38-1/4" wide x 81-1/4" high
Hollow metal door
Expandable metal frame for 4-3/4" wood framed wall
24" x 31" Fire-rated glass panel
Single-drilled for lockset
Hardware to include: lever-style passage set
3 ball-bearing hinges
medium duty (100 lb) closer
Magnetic hold-open device on corridor doors only.



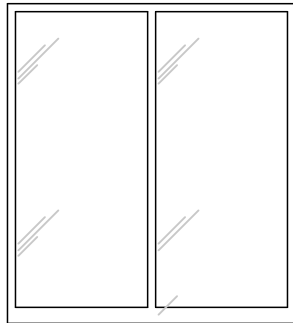
D7
Mech./Elec. Door- 1 only
3'-0" x 6'-8" single entry
Left-hand in-swing
45 Min. fire-rated ULC label on door and frame
Rough opening: 38-1/4" wide x 81-1/4" high
Hollow metal door
Expandable metal frame for 6 3/4" wood framed wall
Single-drilled for lockset
Hardware to include: lever-style lock set
3 ball-bearing hinges
medium duty (100 lb) closer



D8
Exterior Manager Office Door & Cold Storage - 2 (see door swing)
3'-0" x 6'-8" single entry
Left-hand out Swing - 1 only
Right-hand out Swing - 1 only
1 Hr Fire-Rated ULC label on door and frame
Insulated
Rough opening: 38" wide x 82" high
6-panel "Colonist" Steel Insulated door
Pressed expandable metal frame to fit 6 1/2" framed opening
Double drilled for lockset and 3 hinges per door.
Hardware to include: Exterior Style Lockset
Deadbolt
Heavy Duty Closer
Weather Stripping



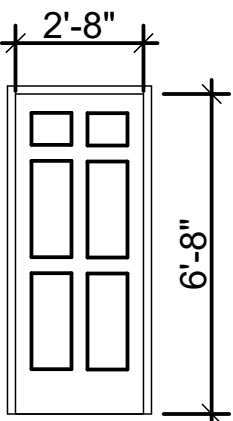
D9
Elevator Control Room Door - 1 only
3'-0" x 6'-8" single entry
Right-hand out-swing
1-1/2 hour fire-rated ULC label on door and frame
Rough opening: 38-1/4" wide x 81-1/4" high
Hollow metal door
Expandable metal frame for 6-3/4" wood framed wall
Single-drilled for lockset
Hardware to include: lever-style lock set - self-locking
3 ball-bearing hinges
medium duty (100 lb) closer



D10
Patio Door - 12 only
6'-0" x 6'-8" sliding patio door
"Everest" - 2 wide c/w interior lock
Fixed / Open configuration
Rough opening: 71-9/16" wide x 81-11/16" high



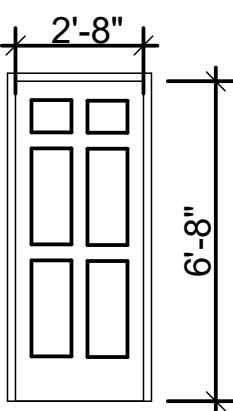
D11
Patio Door - 12 only
6'-0" x 6'-8" sliding patio door
"Everest" - 2 wide c/w interior lock
Open / Fixed configuration
Rough opening: 71-9/16" wide x 81-11/16" high



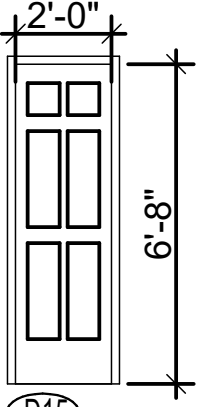
D12
Exterior Storage Door - 12 only
2'-8" x 6'-8" single entry
1 hr fire-rated
Right-hand out-swing
Rough opening: 34" wide x 81-1/4" high
6-panel "Colonist" hollow-core, steel door
Pressed-metal frame (Daybar) to fit in 4-1/2" wood framed opening
Single drilled for lockset and 3 hinges per door.
Hardware to include: knob-style lockset
Check chain



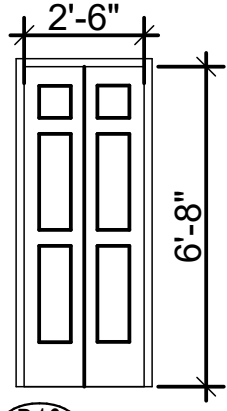
D13
Exterior Storage Door - 12 only
2'-8" x 6'-8" single entry
1 hr fire-rated
Left-hand out-swing
Rough opening: 34" wide x 81-1/4" high
6-panel "Colonist" hollow-core, steel door
Pressed-metal frame (Daybar) to fit in 4-1/2" wood framed opening
Single drilled for lockset and 3 hinges per door.
Hardware to include: knob-style lockset
Check chain



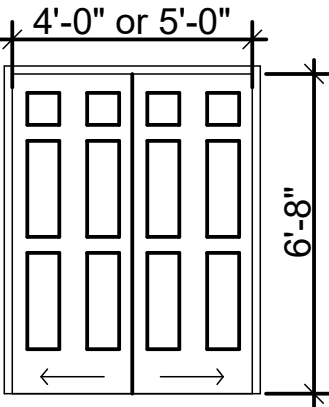
D14
Interior Suite Door - 92 only
2'-8" x 6'-8" single entry
Right or left hand swing
Rough opening: 34" wide x 81-1/4" high
6-panel "Colonist" door
Hollow-core, Primed MDF
Knock-down primed pine or primed MDF frame
Single drilled for lockset and 3 hinges per door.
Hardware to include: knob-style passage set on
bedroom / laundry (68 required)
knob-style privacy set on bathroom
(24 required)



D15
Interior Linen closet Door - 19 only
2'-0" x 6'-8" single entry
Right or left hand swing
Rough opening: 26" wide x 81-1/4" high
6-panel "Colonist" door
Hollow-core, Primed MDF
Knock-down primed pine or primed MDF frame
Single drilled for lockset and 3 hinges per door.
Hardware to include: knob-style passage set (20 required)



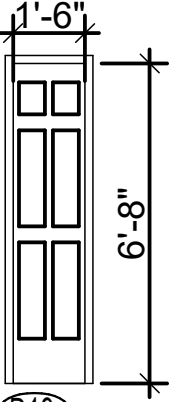
D16
Interior Entry closet Door - 4 only
2'-6" x 6'-8" bi-fold
Rough opening: 30" wide x 80-1/4" high
6-panel "Colonist" door
Hollow-core, Primed MDF
Half-jamb primed FJP or MDF
Hardware to include pewter knob to match kitchen cabinet pulls



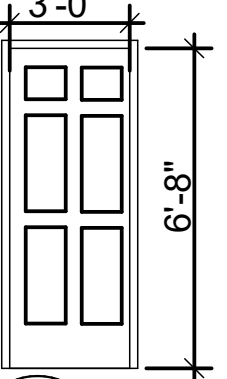
D17
Interior Entry & 2nd Bedroom closet Door - 42 only
2 - 2'-0" x 6'-8" by-pass doors
Rough opening: 50" wide x 80-1/4" high
6-panel "Colonist" door
Hollow-core, Primed MDF
Half-jamb primed FJP or MDF
C/W wood frame and casings
No hardware required



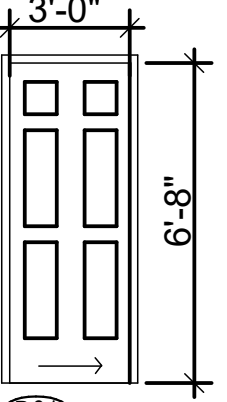
D18
Interior Bedroom closet Door - 25 only
2 - 2'-6" x 6'-8" by-pass doors
Rough opening: 62" wide x 80-1/4" high
6-panel "Colonist" door
Hollow-core, Primed MDF
Half-jamb primed FJP or MDF
C/W wood frame and casings
No hardware required



D19
Interior Linen closet Door - 4 only
1'-6" x 6'-8" single entry
Right or left hand swing
Rough opening: 20" wide x 81-1/4" high
6-panel "Colonist" door
Hollow-core, Primed MDF
Knock-down primed pine or primed MDF frame
Single drilled for lockset and 3 hinges per door.
Hardware to include: knob-style passage set (4 required)

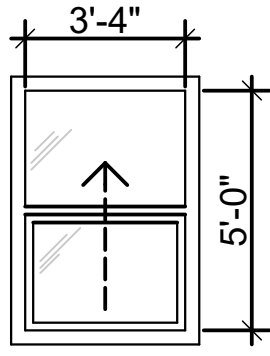


D20
Interior Suite Door - 2 only
3'-0" x 6'-8" single entry
Right or left hand swing
Rough opening: 38" wide x 81-1/4" high
6-panel "Colonist" door
Hollow-core, Primed MDF
Knock-down primed pine or primed MDF frame
Single drilled for lockset and 3 hinges per door.
Hardware to include: lever-style privacy set on bedroom / bathroom

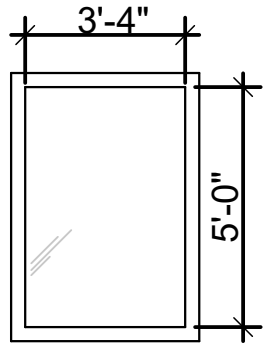


D21
Interior Laundry Door - 1 only
1 - 3'-0" x 6'-8" Pocket door
Rough opening: 38" wide x 80-1/4" high
6-panel "Colonist" door
Hollow-core, Primed MDF
Half-jamb primed FJP or MDF
C/W wood frame and casings
No hardware required

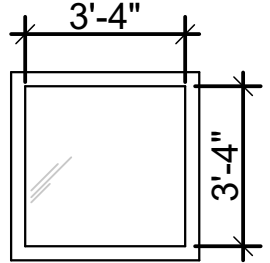
WINDOW SCHEDULE



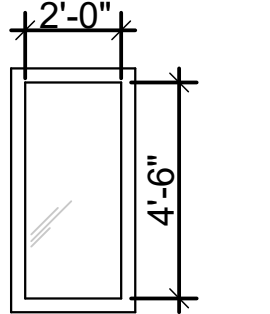
W1
Exterior Bedroom Windows - 48 only
3'-4" x 5'-0" vertical slider
Triple-pane, Argon filled, Low-E
Rough opening: 40-3/8" wide x 60-1/16" high
White PVC jamb, interior and exterior trim
Jamb width 6-5/8"
Exterior nail fin.
c/w screens, fold-down cranks



W2
Exterior Dining Room Windows - 10 only
3'-4" x 5'-0" fixed sealed units
Triple-pane, Argon filled, Low-E
Rough opening: 40-3/8" wide x 60-1/16" high
White PVC jamb, interior and exterior trim
Jamb width 6-5/8"
Exterior nail fin.



W3
Exterior stairwell Windows - 4 only
3'-4" x 3'-4" fixed sealed units
Triple-pane, Argon filled, Low-E
Rough opening: 40-3/8" wide x 40-3/8" high
White PVC jamb, interior and exterior trim
Jamb width 6-5/8"
Exterior nail fin.



W4
Exterior Front Entry Windows - 2 only
2'-0" x 4'-6" fixed sealed units
Triple-pane, Argon filled, Low-E
Rough opening: 26-1/2" wide x 56-3/8" high
White PVC jamb, interior and exterior trim
Jamb width 6-5/8"
Exterior nail fin.

NOTES FOR WINDOWS:

1. FOR SPECIFIC CONFIRMATION ON HARDWARE NEEDS CONSULT THE OWNER PRIOR TO FABRICATION.
2. ALL EXTERIOR FRAMES TO BE THERMALLY BROKEN, TRIPLE GLAZED.
3. ALL EXTERIOR GLASS TINTED (SAMPLE TO BE APPROVED BY OWNER).
4. ALL WINDOW FRAME COLORS TO MEET APPROVAL OF OWNER.
5. EXACT ORIENTATION OF FRAME/WINDOW/DOOR ASSEMBLY AS PER FLOOR PLAN
6. SIZES GIVEN ARE ROUGH OPENING MEASUREMENTS. EXACT SIZES TO BE CONFIRMED ON SITE PRIOR TO FABRICATION.
7. ALL SILLS C/W ALUMINUM FLASHING AND CAULKING.
8. ALL GLAZING UNITS C/W CAULKING AND FOAM ROD BACKING.
9. ALL GLAZING UNITS VINYL COMPOSITION.
10. ALL GLAZING STOPS TO BE INTERIOR APPLIED.
11. SPECIAL COATING AND GAS IN SOUTH AND WEST FACING EXTERIOR WINDOWS.

ryan schmidt



GENERAL NOTES:

1. ALL CONSTRUCTION AND RELATED WORK SHALL COMPLY WITH THE 2018 EDITION OF THE BRITISH COLUMBIA BUILDING CODE, LOCAL BYLAWS AND REGULATIONS.
2. ONE FULL SET OF APPROVED CONSTRUCTION DOCUMENTS IS TO BE KEPT ON SITE AND AVAILABLE FOR CHECKING AT ALL TIMES DURING CONSTRUCTION.
3. ENSURE ACCESS TO ALL FIRE EXITS ARE MAINTAINED DURING CONSTRUCTION.
4. ALL DIMENSIONS ARE FROM FACE OF STUD, FACE OF GIRTS, FACE OF CONCRETE, FACE OF BLOCK OR CENTRE LINE OF GRID UNLESS NOTED OTHERWISE. FOR STRUCTURAL DRAWINGS, ALL INTERIOR DIMENSIONS ARE FROM CENTRE LINE OF WALL, CENTRE LINE OF CONCRETE PILE, CENTRE LINE OF CONCRETE FOOTING, CENTRE LINE OF STEEL OR CENTRE LINE OF GRID UNLESS NOTED OTHERWISE.
5. DRAWINGS ARE NOT TO BE SCALED FOR SIZES OR DIMENSIONS.
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	ISSUED FOR BUILDING PERMIT	APR. 12/24	LAS
NO.	DESCRIPTION	DATE	BY
DRAWING ISSUE NUMBER / REVISIONS			

STAMPS:

CLIENT:

SPAN WEST
SASKATOON, SK

PROJECT:

OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE

DOOR & WINDOW
SCHEDULES

SCALE:

DATE:

DRAWN BY:

CHKD BY:

FILE NO:

SHEET 22

A6.1

J:\Projects\2020\20-013 Remaj, Condo - Osoyoos, BC\5-Osoyoos Apt Current (Arch\CAD)\1-Osoyoos Apt. Current\0-Osoyoos Arch\CAD\1-Remaj 24 Unit Apartment Current Set.pln

WINDOW INSTALLATION PROCEDURES

GRACE VYCORNER™

Prefabricated Corners for Windows and Doors

- **Faster and easier flashing installation**
- **Superior protection against leaks**
- **Higher quality of work and fewer call backs**

Window and door leaks are a major concern for contractors and builders. To prevent water from entering the building, these critical penetration areas must be flashed properly. Corners are the most vulnerable areas of window and door systems and are rarely flashed well, if at all. Grace VYCORner™ offers a superior flashing solution for corners of windows and doors.

Flash it right.

VYCORner fits any window/door design and provides superior protection against leaks.

A member of the Vycor® family of flashing products, VYCORner is key component of the Grace flashing system.

VYCORner is easy to install. It saves labor and makes installation quick and easy. No special training is required. Simply follow the installation guidelines below to achieve a fast, high quality installation at no additional labor cost.

Installation Guidelines Installation Before Weather-Resistive Barrier (WRB)



Step 1
Prepare the rough opening.
Remove dust, dirt and loose nails.



Step 2
Position and attach
VYCORner into place.



Step 3
Repeat on the other side.



Step 4A— 2x4 construction
Install a patch of Grace Vycor® self-adhered flashing over the top edge of VYCORner at the rough opening; extend onto the face of the wall (by a minimum of 1/2 inch). Repeat on both sides.



Step 4B— 2x6 or 2x8 construction
Install a patch of Vycor self-adhered flashing as shown in the photo – to extend a minimum 1 inch beyond VYCORner at the sill and jamb of rough opening. Repeat on both sides.



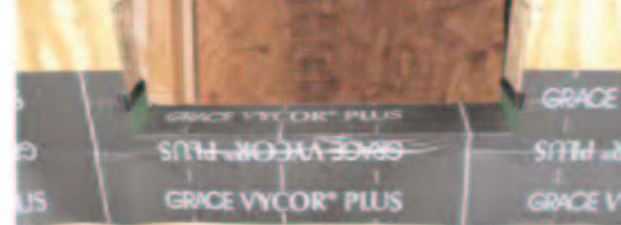
Step 5
Install the sill piece of
Vycor self-adhered flashing.



Step 6
Make a vertical relief cut on
Vycor self-adhered flashing
and adhere to the rough
opening. Repeat on both
sides.



Step 7
Roll firmly into place and
press around all edges of
VYCORner.



Step 8
Repeat step 7 on both sides.
For sill pan options refer to
Grace details.



Step 9
Continue with the jambs and
head flashing installation;
refer to Grace Contractor's
Guide for complete details.

WINDOW INSTALLATION:

USE GRACE VYCORNER AS INDICATED ON ATTACHED DETAILS FOR ALL WINDOW INSTALLATIONS

Installation Guidelines Installation After Weather-Resistive Barrier (WRB)



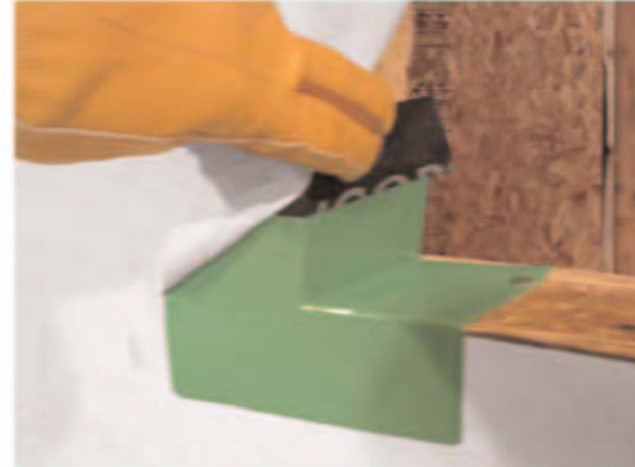
Step 1
Make approximately 2.5
inch long horizontal cut in
the WRB, starting from the
corner.



Step 2
Insert VYCORner under the
WRB to allow for proper
drainage; repeat on both
sides of the sill.



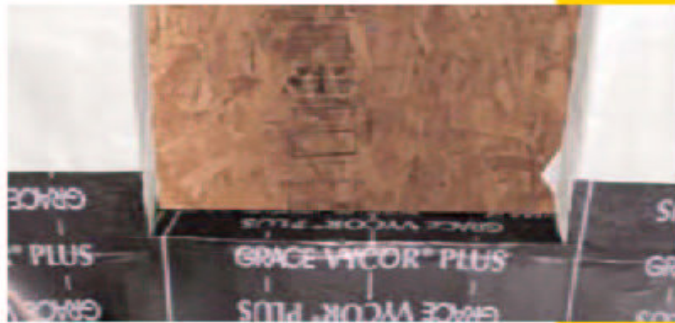
Step 3
Mechanically fasten
VYCORner.



Step 4A – 2x4 construction
Install a piece of Vycor
self-adhered flashing over
the top edge of VYCORner
at the rough opening.
Extend over the face of
VYCORner (underneath the
WRB) a minimum of 1/2
inch. Repeat on both sides.



Step 4B— 2x6 or 2x8 construction
Install a patch of Vycor
self-adhered flashing as
shown in photo – to
extend a minimum 1 inch
beyond VYCORner at the sill
and jamb of rough opening.
Repeat on both sides.



Step 5
Install the sill Vycor flashing.
Make vertical relief cuts and
adhere to the sill.



Step 6
Continue with the jambs and
head flashing installation.
Refer to Grace Contractor's
Guide for complete details.

Notes:

- For best performance, use VYCORner in conjunction with Grace Vycor® Plus or Grace Vycor® V40 self-adhered flashings.
- For complete details on flashing windows and doors, refer to Grace Contractor's Guide.
- Wrinkles, fish mouths, or other installation defects on Vycor sill flashing should be patched to prevent water from getting underneath.
- RIPCORD™ (Split Release on Demand) can be used to facilitate the sill flashing installation. Refer to Grace Contractor's Guide for details.
- Release paper on the bottom part of Vycor sill flashing should remain on until the WRB is installed to ensure proper shingle overlap.
- Sill piece of Vycor self-adhered flashing should extend all the way to the end/back edge of sill rough opening

Technical Assistance 866-333-3SBM (3726)

Visit our web sites at www.graceconstruction.com and www.graceathome.com.

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GRACE
Construction Products

ryan schmidt



GENERAL NOTES:

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	ISSUED FOR BUILDING PERMIT	APR. 12/24	LAS
NO.	DESCRIPTION	DATE	BY
DRAWING ISSUE NUMBER / REVISIONS			

STAMPS:

CLIENT:

SPAN WEST
SASKATOON, SK

PROJECT:

OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE WINDOW INSTALLATION
PROCEDURES

SCALE:	SHEET 23 A6.2
DATE:	
DRAWN BY:	
CHKD BY:	
FILE NO:	

J:\Projects\2020\013 Remai, Condo - Osoyoos, BC\5-Osoyoos Apt Current (ArchiCAD)\1-Osoyoos Apt. Current\Osoyoos ArchiCAD\1-Remai 24 Unit Apartment Current Set.pln

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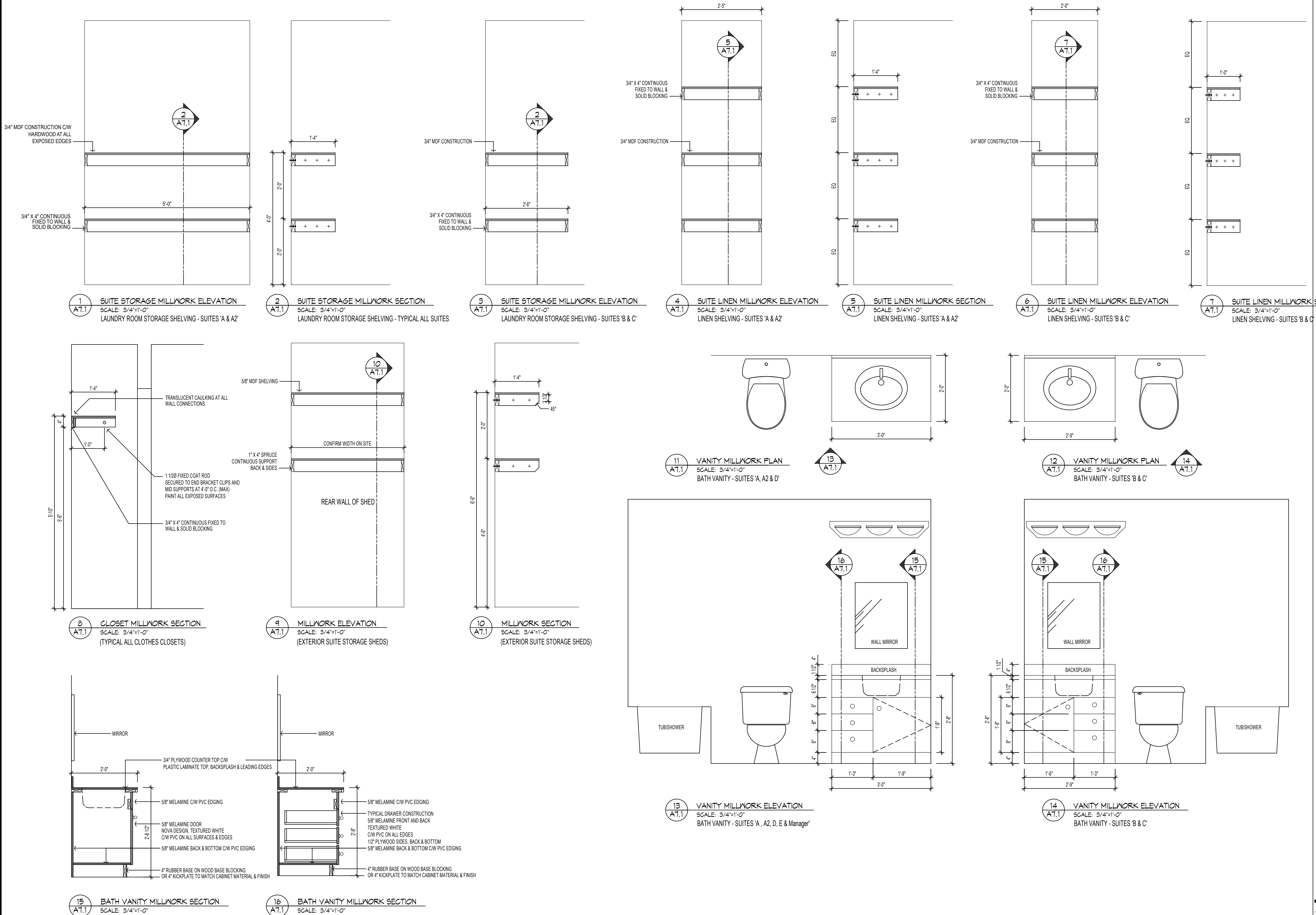
PROJECT:
OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE
MILLWORK DETAILS

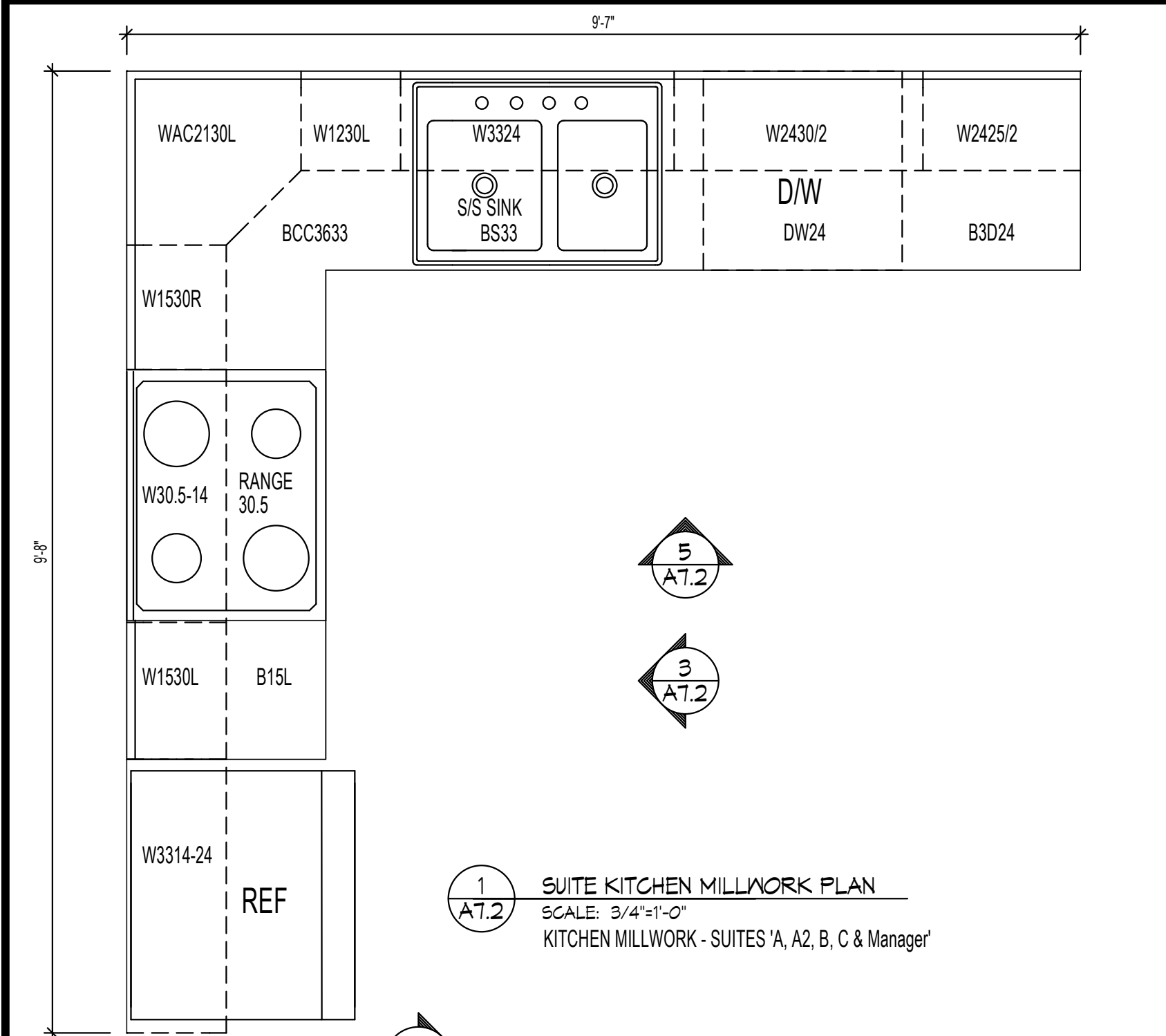
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SHEET 24

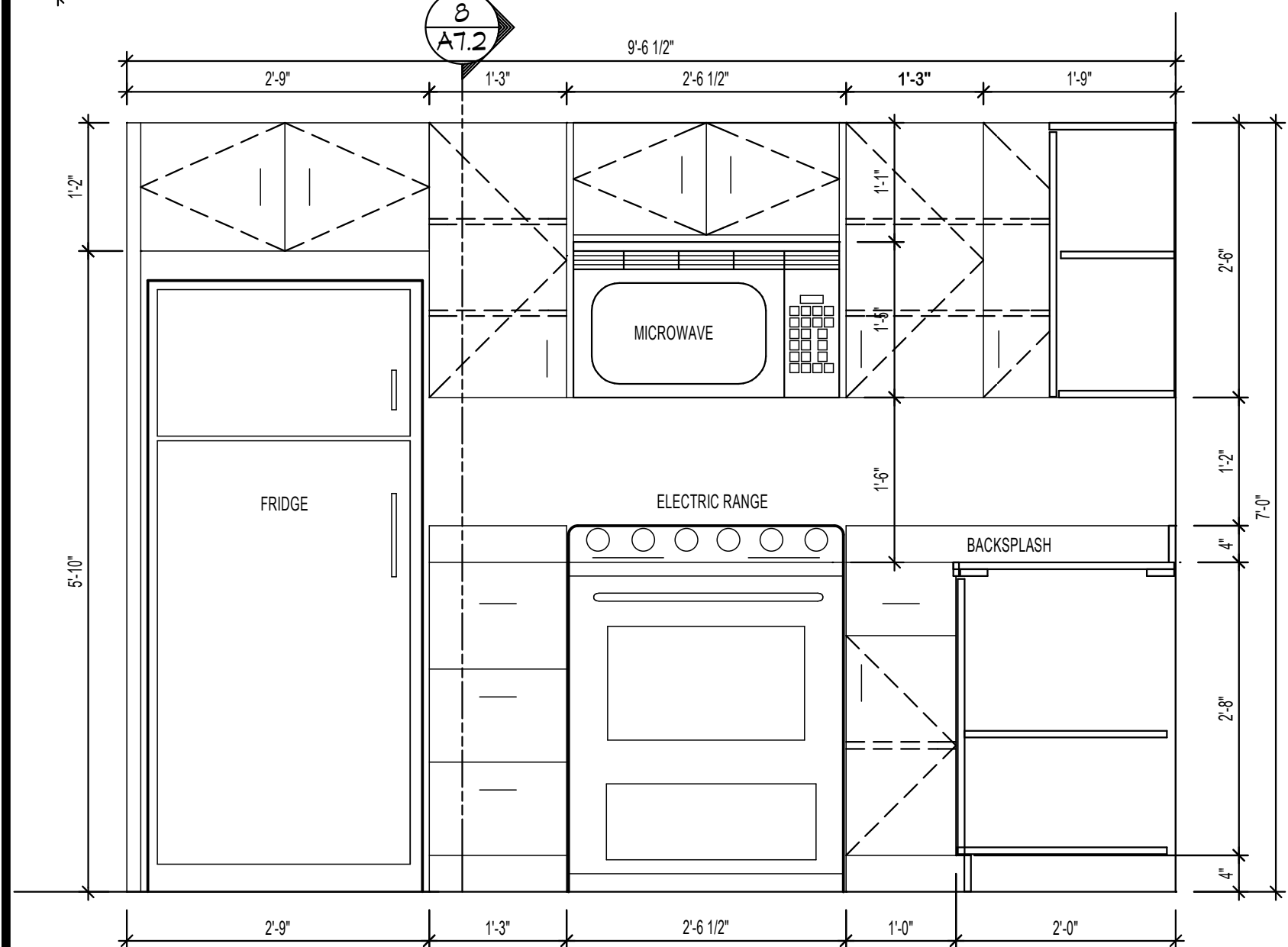
A7.1



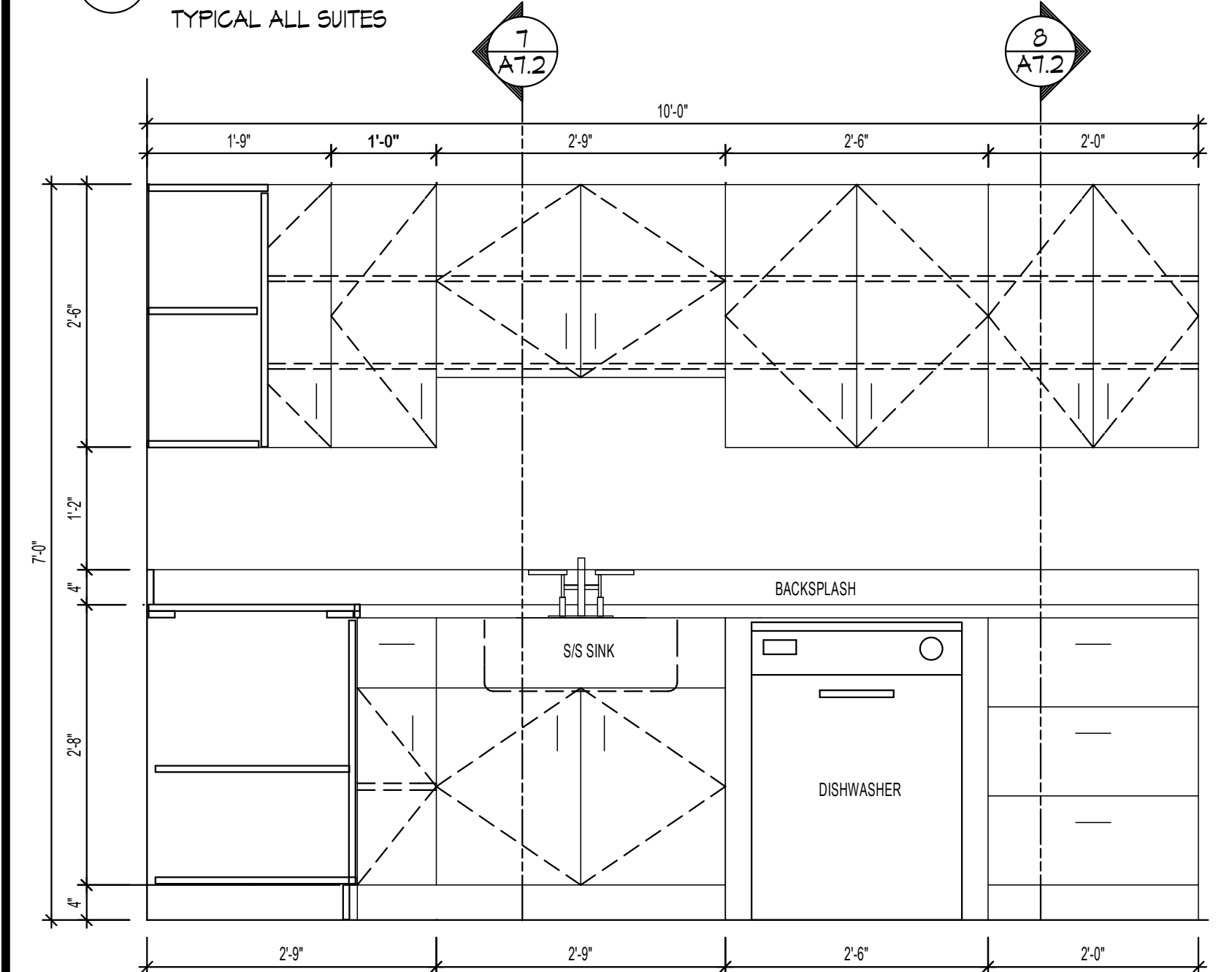
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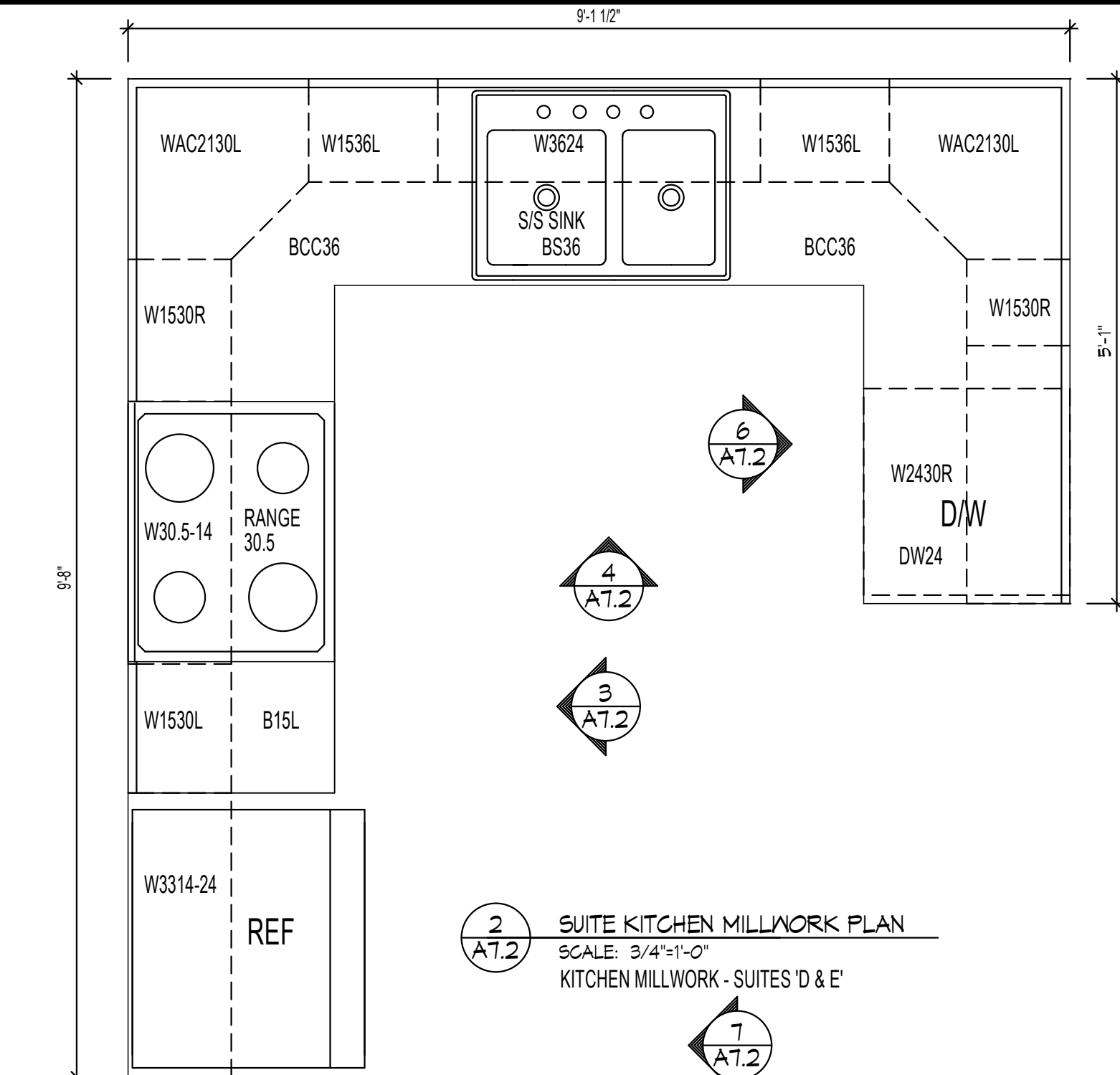
1 SUITE KITCHEN MILLWORK PLAN
SCALE: 3/4"=1'-0"
KITCHEN MILLWORK - SUITES 'A, A2, B, C & Manager'



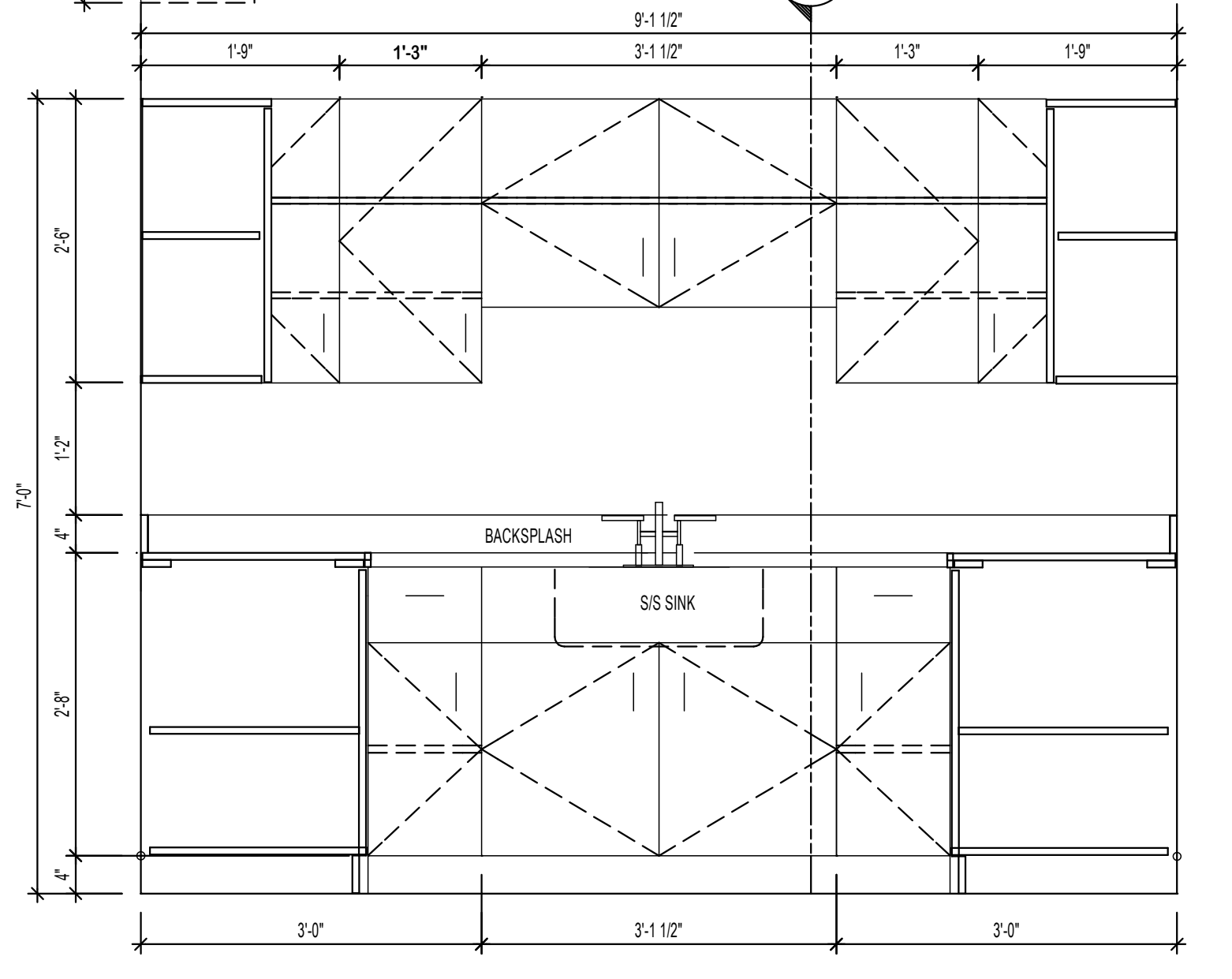
3 ELEVATION KITCHEN MILLWORK
SCALE: 3/4"=1'-0"
TYPICAL ALL SUITES



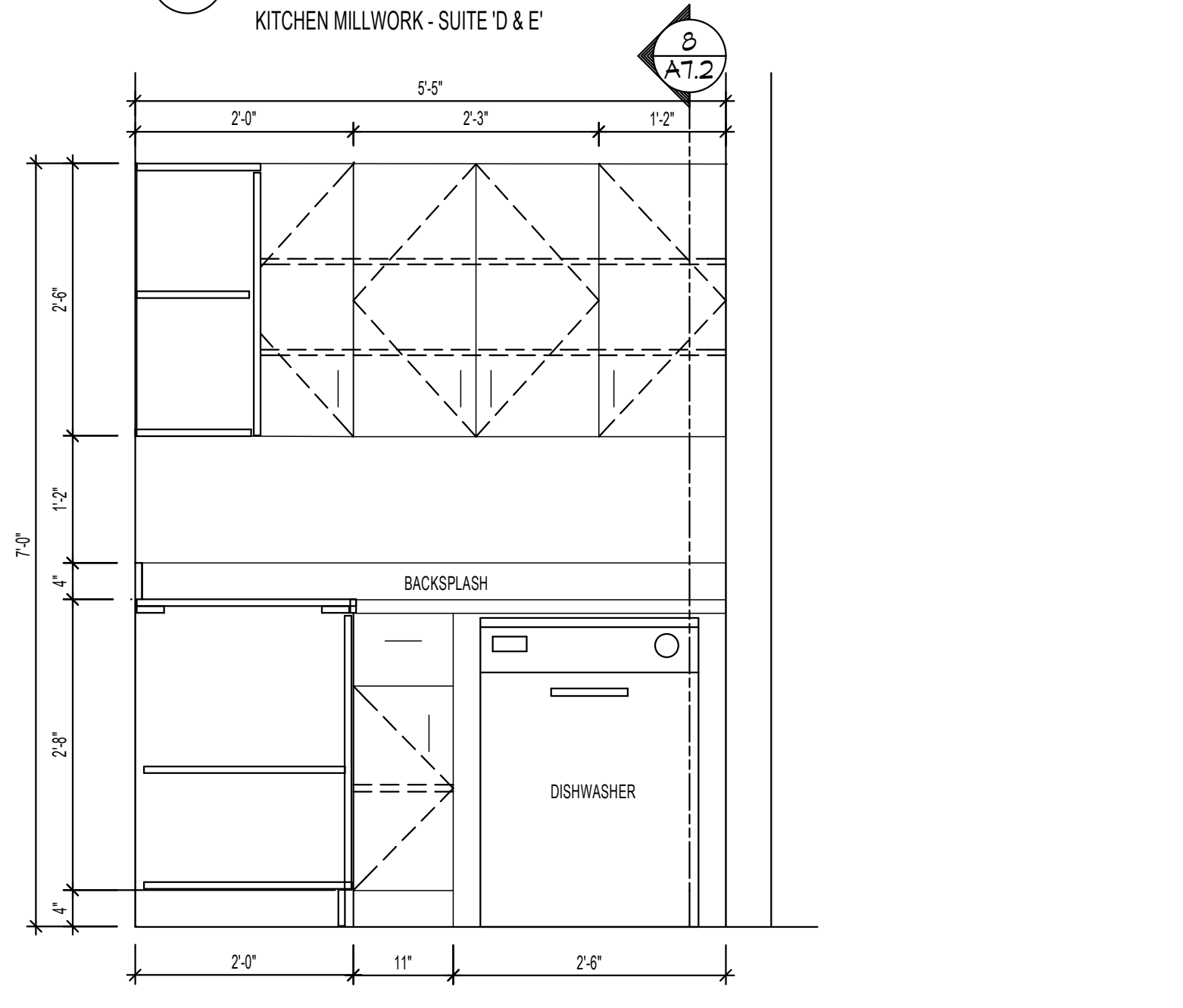
5 ELEVATION KITCHEN MILLWORK
SCALE: 3/4"=1'-0"
KITCHEN MILLWORK - SUITES 'A, A2, B, C & Manager'



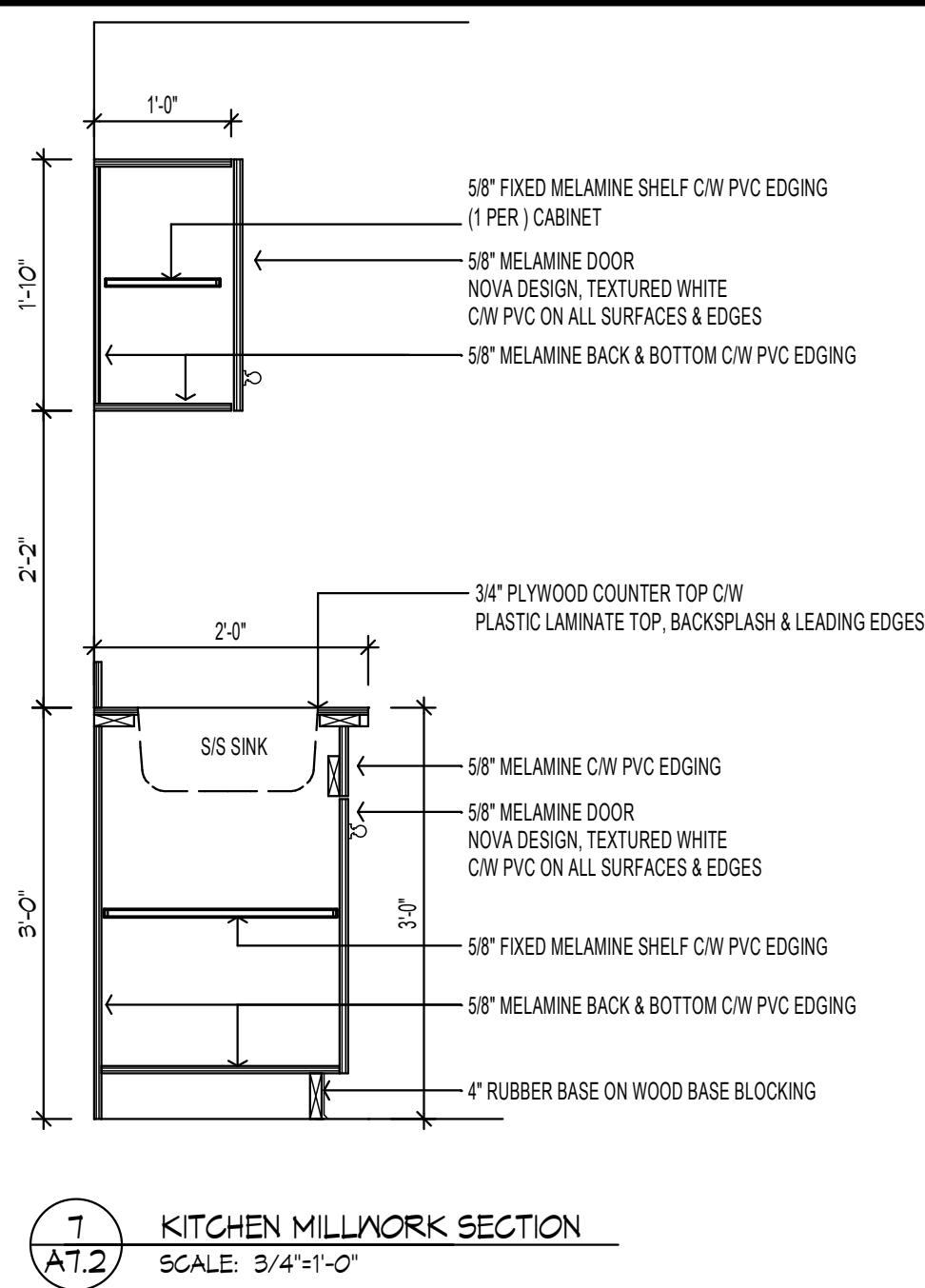
2 SUITE KITCHEN MILLWORK PLAN
SCALE: 3/4"=1'-0"
KITCHEN MILLWORK - SUITES 'D & E'



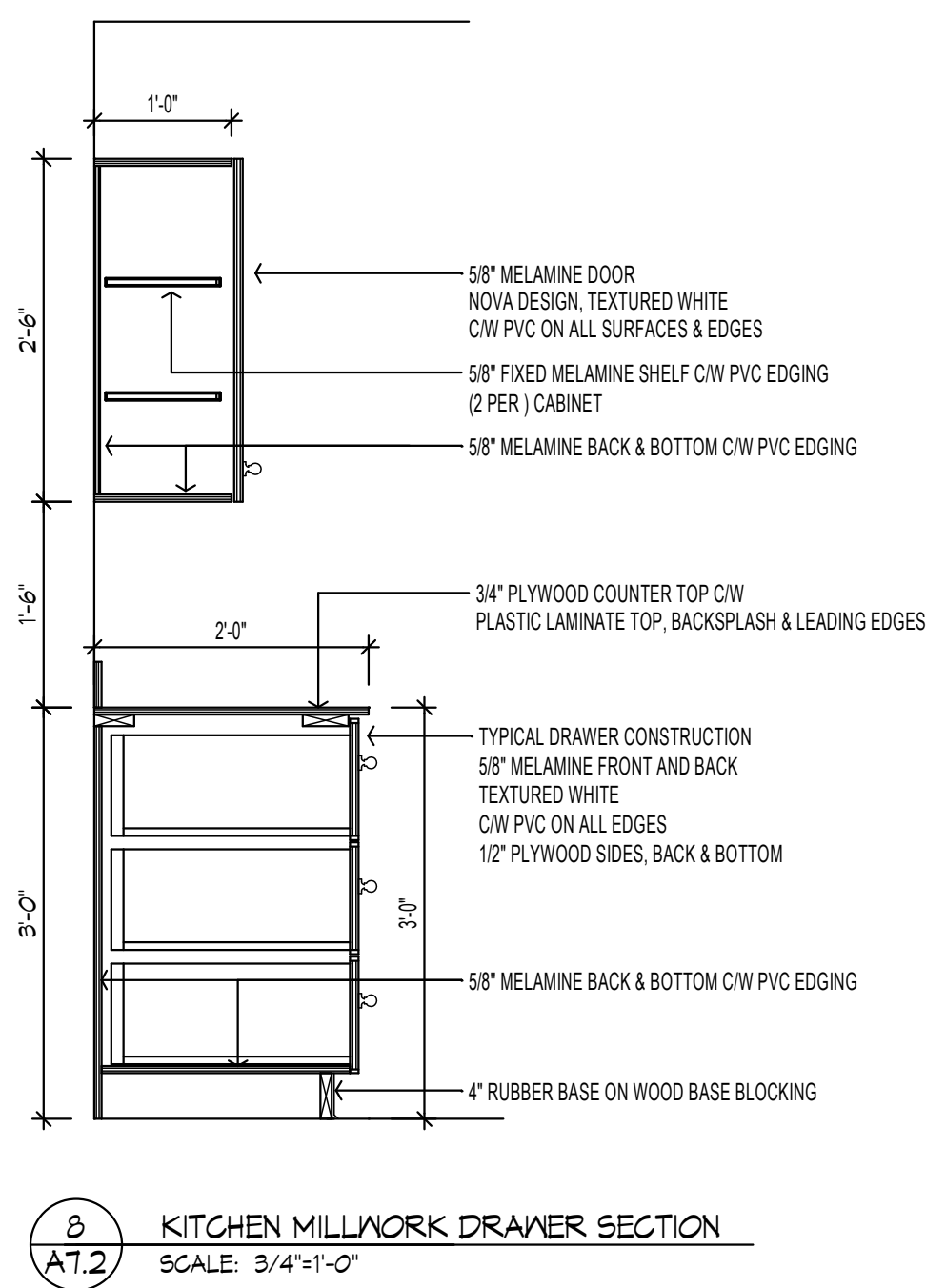
4 ELEVATION KITCHEN MILLWORK
SCALE: 3/4"=1'-0"
KITCHEN MILLWORK - SUITE 'D & E'



6 ELEVATION KITCHEN MILLWORK
SCALE: 3/4"=1'-0"
KITCHEN MILLWORK - SUITE 'D & E'



7 KITCHEN MILLWORK SECTION
SCALE: 3/4"=1'-0"



8 KITCHEN MILLWORK DRAWER SECTION
SCALE: 3/4"=1'-0"

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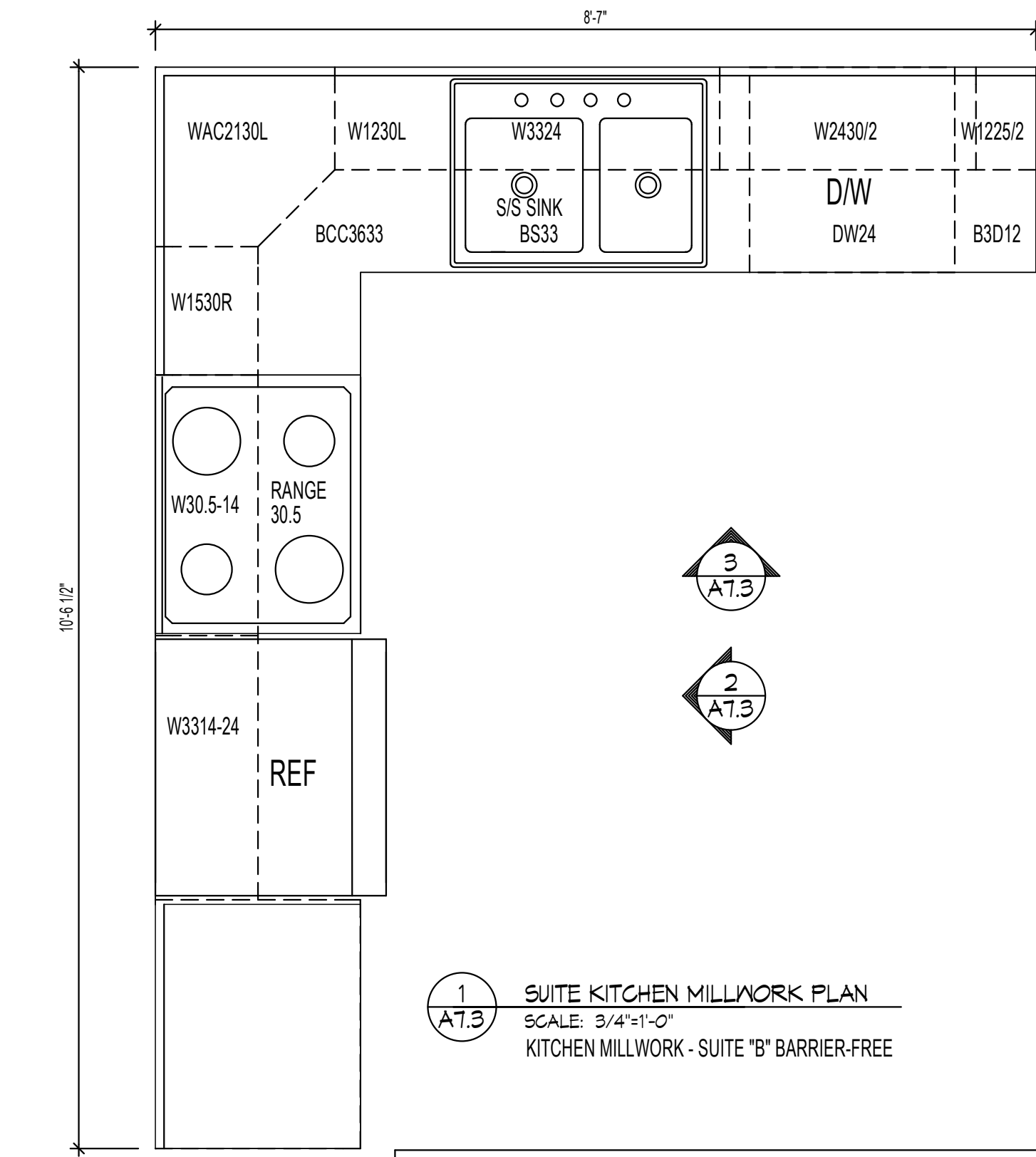
PROJECT:
OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE
KITCHEN MILLWORK
DETAILS

SCALE:
DATE:
DRAWN BY:
CHKD BY:
FILE NO:

SHEET 25

A7.2



1 A7.3 SUITE KITCHEN MILLWORK PLAN
SCALE: 3/4"=1'-0"
KITCHEN MILLWORK - SUITE "B" BARRIER-FREE

BARRIER-FREE INFORMATION:

3.4.6.19 FLOOR NUMBERING

1) ARABIC NUMERALS INDICATING THE ASSIGNED FLOOR NUMBER SHALL:

- BE MOUNTED PERMANENTLY ON THE STAIR SIDE OF THE WALL AT THE LATCH SIDE OF DOORS TO EXIT STAIR SHAFTS.
- BE NOT LESS THAN 60mm HIGH, RAISED APPROXIMATELY 0.7mm ABOVE THE SURFACE.
- LOCATED 1500mm FROM THE FINISHED FLOOR AND NOT MORE THAN 300mm FROM THE DOOR, AND
- BE CONTRASTING IN COLOUR WITH THE SURFACE TO WHICH THEY ARE APPLIED. (SEE NOTE A-3.4.6.19.(1)(d)).

3.8.3.12 UNIVERSAL WASHROOMS
(SEE NOTE A-3.8.3.12.)

1) A UNIVERSAL WASHROOM SHALL:

a) BE SERVED BY A BARRIER-FREE PATH OF TRAVEL.

b) HAVE A DOOR COMPLYING WITH ARTICLE 3.8.3.6, THAT:

- A LATCH-OPERATING MECHANISM LOCATED 900 mm TO 1000 mm ABOVE THE FLOOR THAT COMPLIES WITH CLAUSE 3.8.3.6.(1)(b) AND IS CAPABLE OF BEING LOCKED FORM THE INSIDE, AND RELEASED FORM THE OUTSIDE IN CASE OF EMERGENCY, AND
- IF IT IS AN OUTWARD SWINGING DOOR, THAT IS NOT SELF-CLOSING, HAS A DOOR PULL NOT LESS THAN 140 mm LONG LOCATED ON THE INSIDE SO THAT ITS MIDPOINT IS NOT LESS THAN 200 mm AND NOT MORE THAN 300 mm FROM THE HINGED SIDE OF THE DOOR AND NOT LESS THAN 900 mm AND NOT MORE THAN 1 000 mm ABOVE THE FLOOR (SEE NOTE A-3.8.3.11.(1)(c)(iv)).

c) HAVE ONE LAVATORY CONFORMING TO ARTICLE 3.8.3.15,

d) HAVE ONE WATER CLOSET CONFORMING TO ARTICLE 3.8.3.13, AND CLAUSE 3.8.3.11.(1)(d), WITH A CLEAR FLOOR SPACE AT LEAST 900 mm WIDE THAT IS PARALLEL AND ADJACENT TO THE OPEN SIDE OF THE WATER CLOSET.

e) HAVE GRAB BARS CONFORMING TO CLAUSE 3.8.3.11.(1)(e) AND (f),

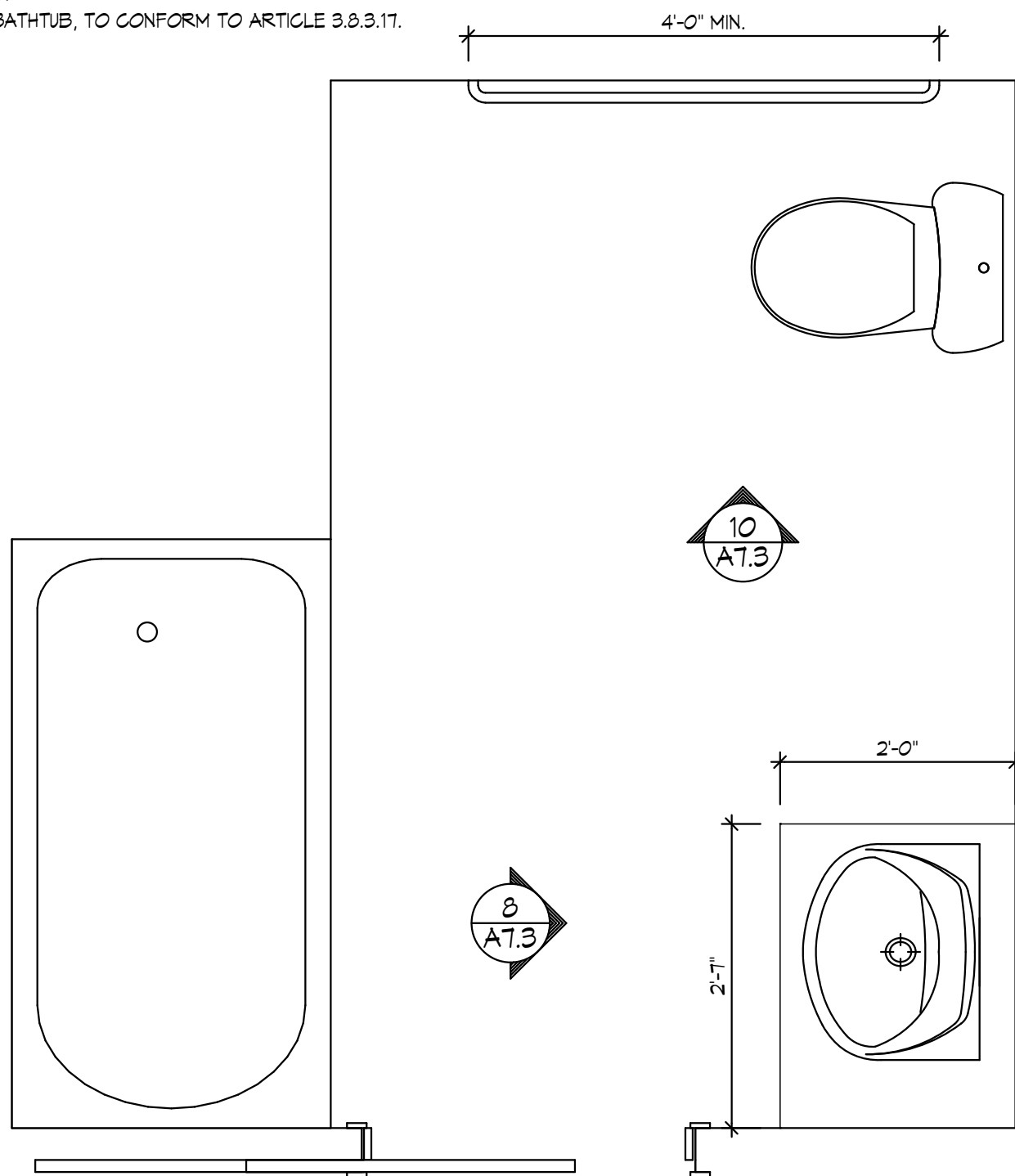
f) HAVE A COAT HOOK CONFORMING TO CLAUSE 3.8.3.11.(1)(g),

g) HAVE A TOILET PAPER DISPENSER CONFORMING TO CLAUSE 3.8.3.11.(1)(h),

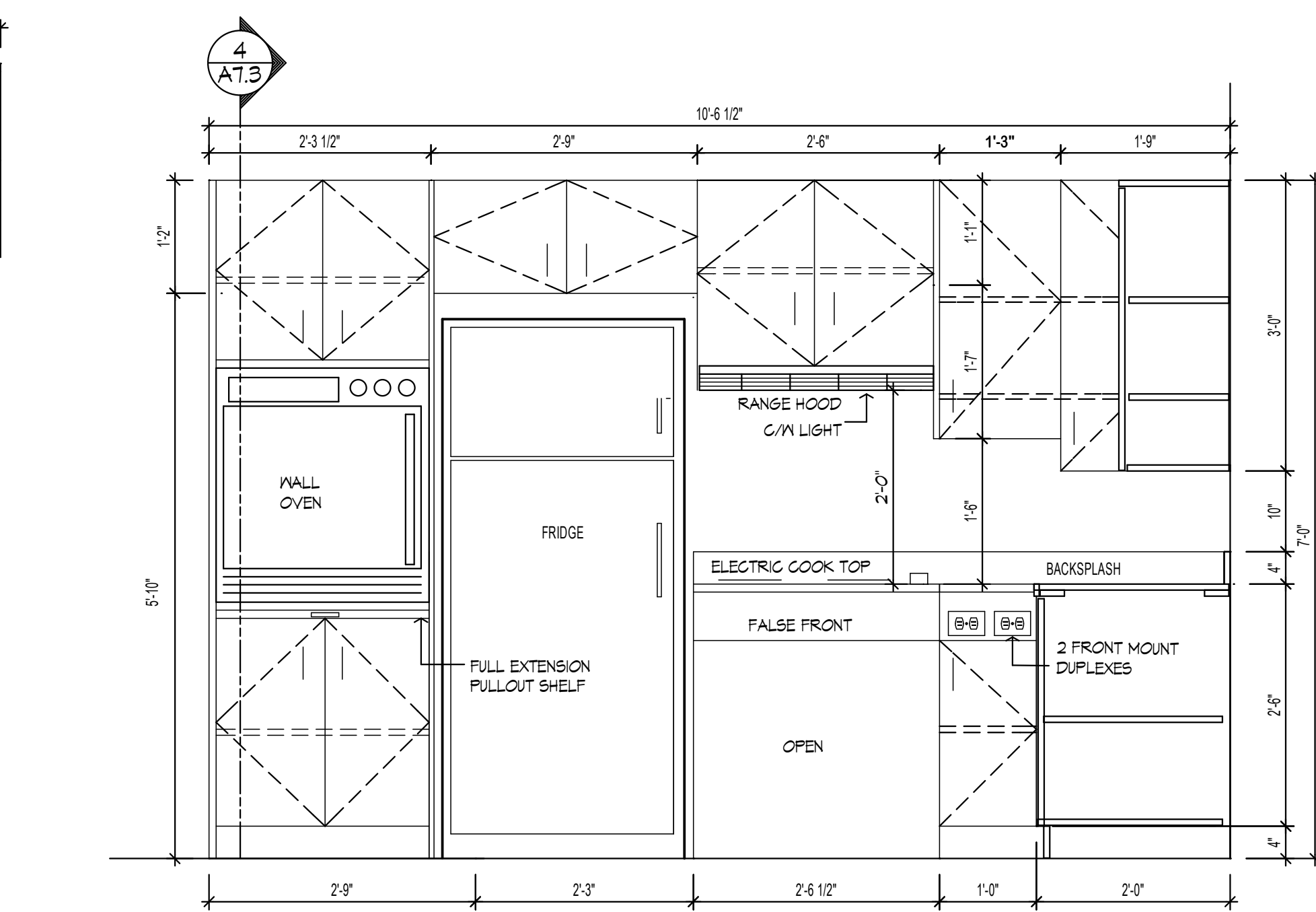
h) UNLESS A COUNTER IS PROVIDED, HAVE A SHELF LOCATED NOT MORE THAN 1 200 mm ABOVE THE FLOOR, AND

i) BE DESIGNED TO PERMIT A WHEELCHAIR TO TURN IN AN OPEN SPACE NOT LESS THAN 1 500 mm IN DIAMETER.

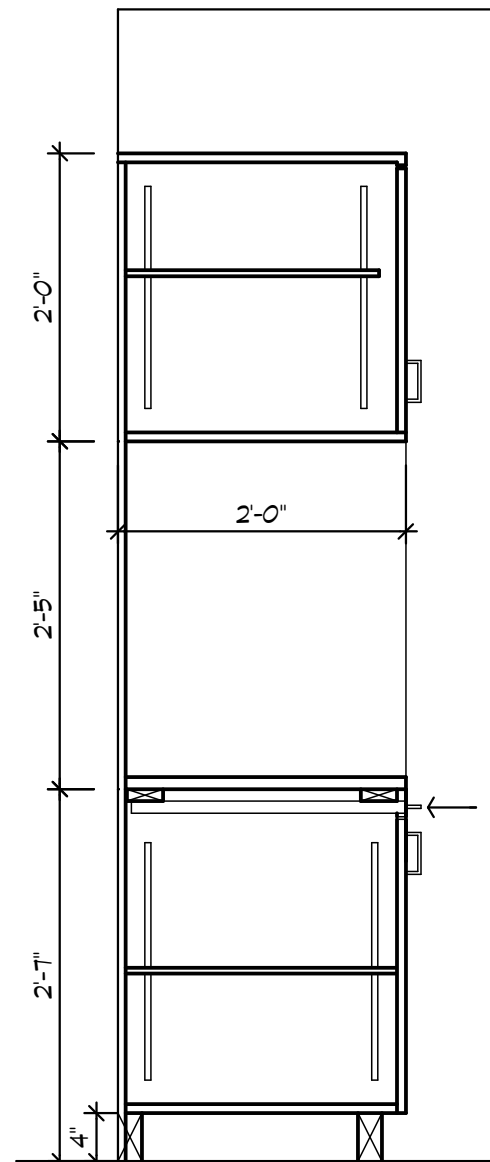
SHOWER, TO CONFORM TO ARTICLE 3.8.3.16.
OR
BATHTUB, TO CONFORM TO ARTICLE 3.8.3.17.



7 A7.3 VANITY MILLWORK PLAN
SCALE: 3/4"=1'-0"
SUITE "B" BARRIER-FREE



2 A7.3 ELEVATION KITCHEN MILLWORK
SCALE: 3/4"=1'-0"
SUITE "B" BARRIER-FREE



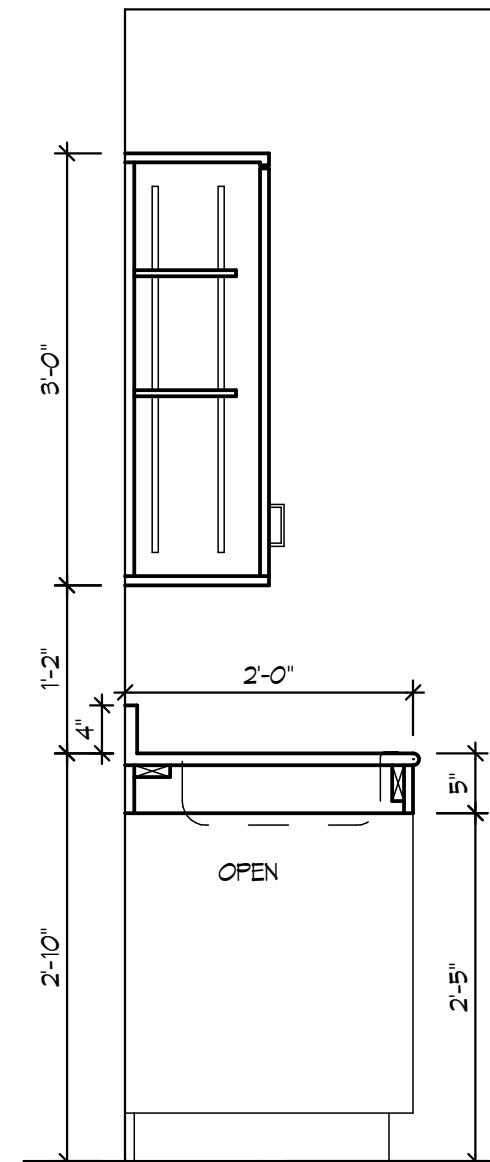
4 A7.3 MILLWORK SECTION
SCALE: 3/4"=1'-0"
SUITE "B" BARRIER-FREE

UPPER CABINETS

- 5/8" MELAMINE DOOR
NOVA DESIGN, TEXTURED WHITE
C/M PVC ON ALL SURFACES
AND EDGES.
- 5/8" MELAMINE SHELF
C/M PVC EDGING
(2 PER CABINET).
- 5/8" MELAMINE BACK AND
BOTTOM C/M PVC EDGING.
DOOR HARDWARE

LOWER CABINETS

- 3/4" PLYWOOD COUNTER TOP C/M
PLASTIC LAMINATE TOP,
BACKSPLASH & LEADING EDGES.
FULL EXTENSION PULLOUT SHELF.
- 5/8" MELAMINE DOOR
NOVA DESIGN, TEXTURED WHITE
C/M PVC ON ALL SURFACES & EDGES.
- 5/8" FIXED MELAMINE SHELF
C/M PVC EDGING.
- 5/8" MELAMINE CABINET BACK AND
BOTTOM C/M PVC EDGING.
- 4" RUBBER BASE ON
WOOD BASE BLOCKING



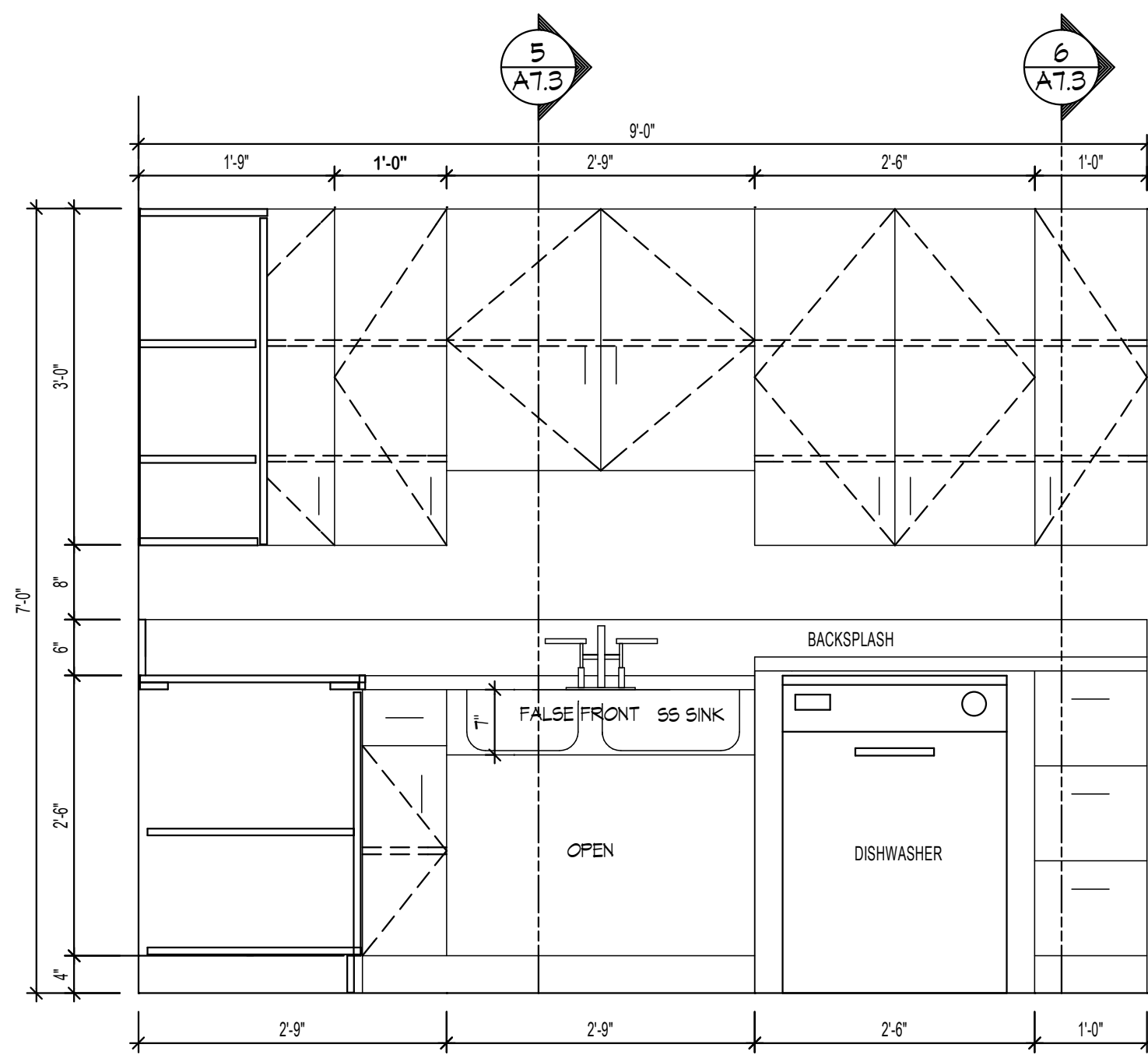
5 A7.3 MILLWORK SECTION
SCALE: 3/4"=1'-0"
SUITE "B" BARRIER-FREE

UPPER CABINETS

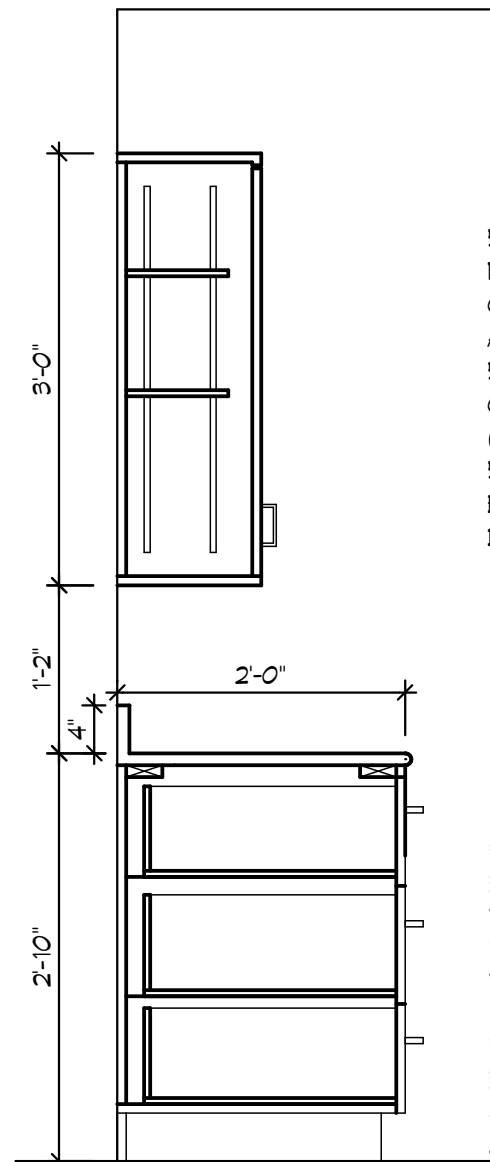
- 5/8" MELAMINE DOOR
NOVA DESIGN, TEXTURED WHITE
C/M PVC ON ALL SURFACES
AND EDGES.
- 5/8" MELAMINE SHELF
C/M PVC EDGING
(2 PER CABINET).
- 5/8" MELAMINE BACK AND
BOTTOM C/M PVC EDGING
DOOR HARDWARE

LOWER CABINETS

- 3/4" PLYWOOD COUNTER TOP C/M
PLASTIC LAMINATE TOP,
BACKSPLASH & LEADING EDGES.
- 5/8" MELAMINE FALSE FRONT
C/M PVC EDGING
- 5/8" MELAMINE APPLIANCE CAVITY
C/M PVC EDGING.
- 4" RUBBER BASE ON
WOOD BASE BLOCKING



3 A7.3 ELEVATION KITCHEN MILLWORK
SCALE: 3/4"=1'-0"
SUITE "B" BARRIER-FREE



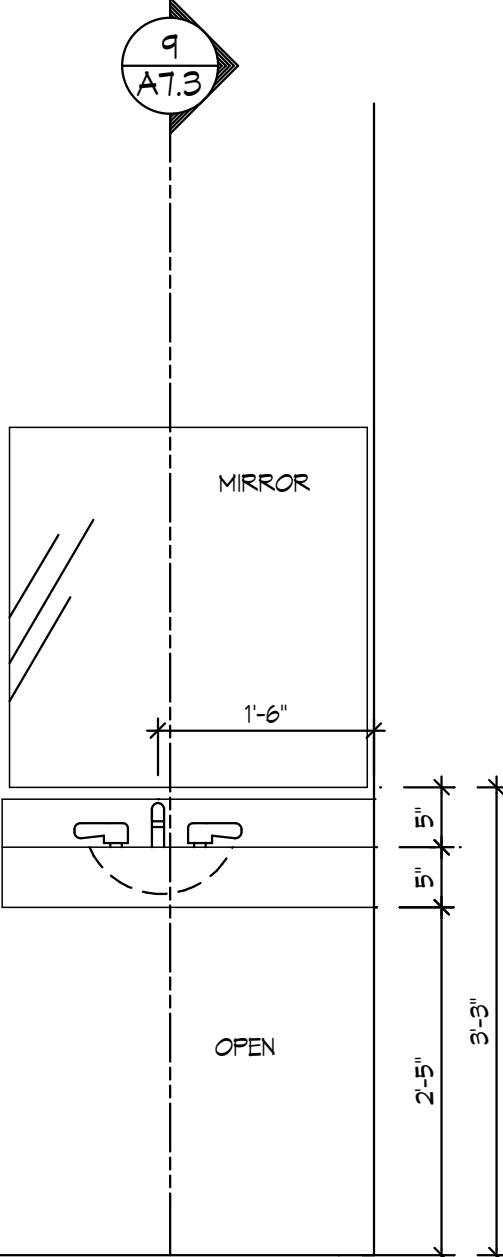
6 A7.3 MILLWORK SECTION
SCALE: 3/4"=1'-0"
SUITE "B" BARRIER-FREE

UPPER CABINETS

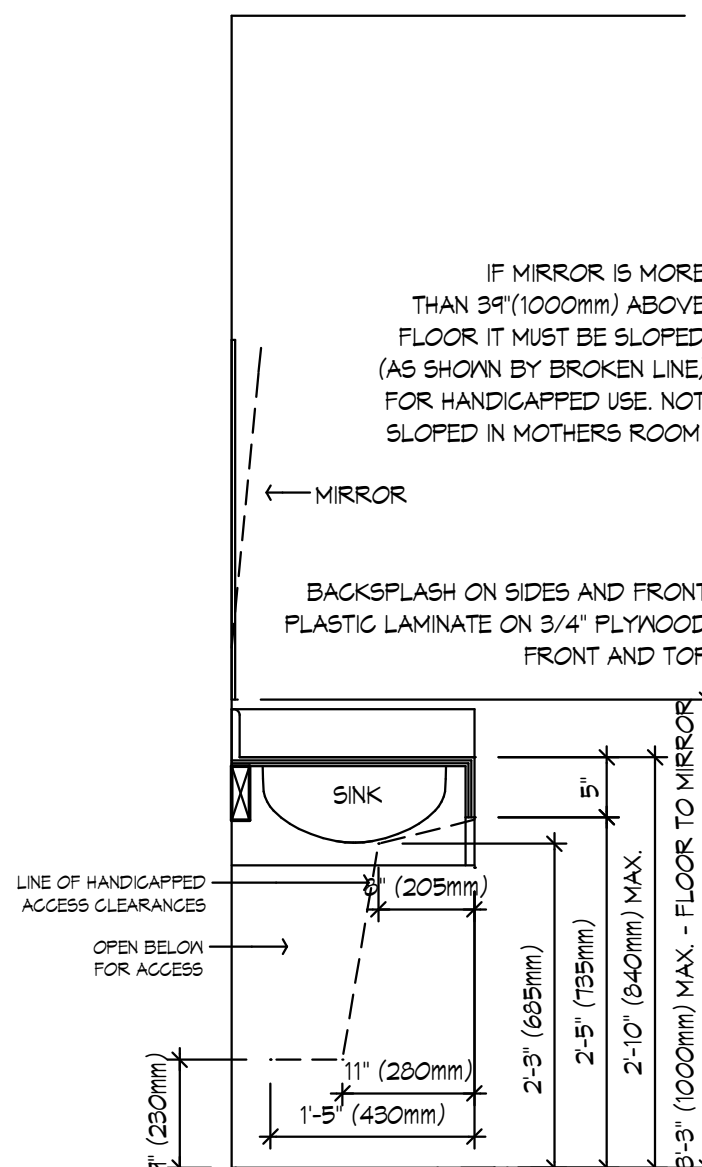
- 5/8" MELAMINE DOOR
NOVA DESIGN, TEXTURED WHITE
C/M PVC ON ALL SURFACES
AND EDGES.
- 5/8" MELAMINE SHELF
C/M PVC EDGING
(2 PER CABINET).
- 5/8" MELAMINE BACK AND
BOTTOM C/M PVC EDGING
DOOR HARDWARE

LOWER CABINETS

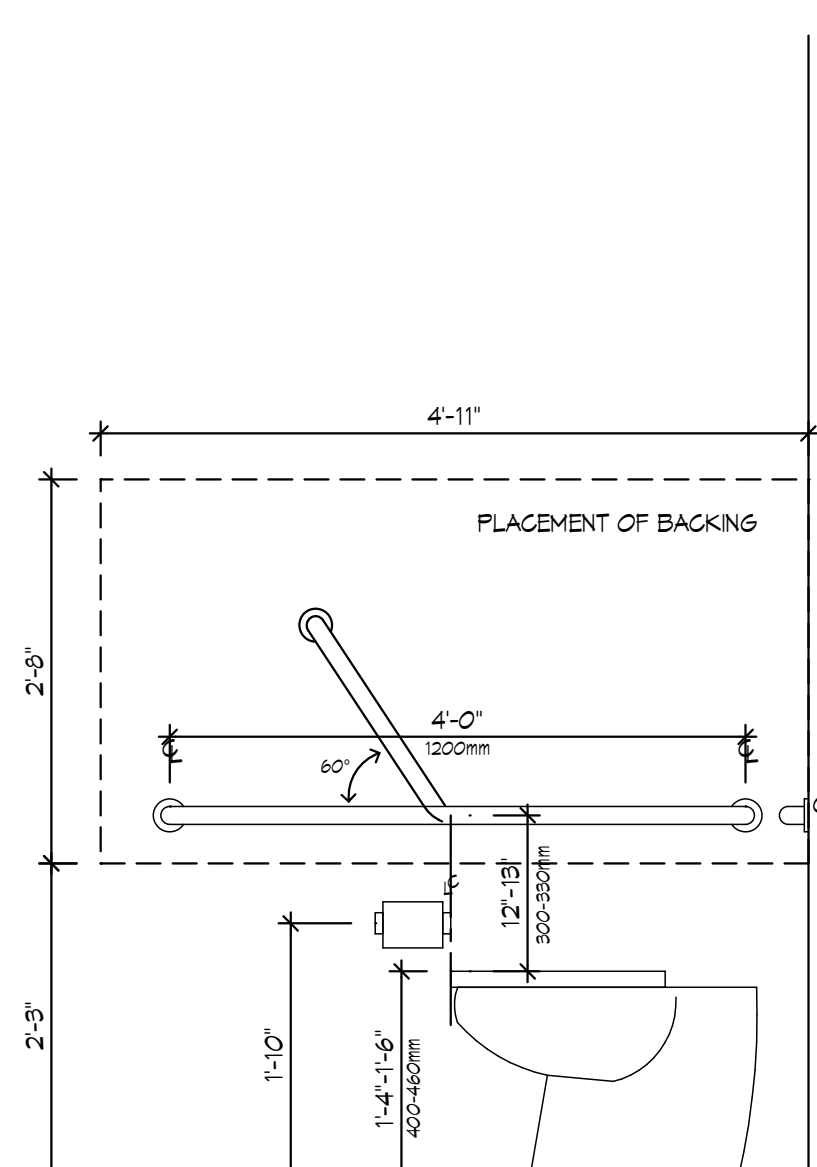
- 3/4" PLYWOOD COUNTER TOP C/M
PLASTIC LAMINATE TOP,
BACKSPLASH & LEADING EDGES.
- TYPICAL DRAWER CONSTRUCTION:
5/8" MELAMINE FRONT & BACK
TEXTURED WHITE C/M PVC EDGING
1/2" PLYWOOD SIDES, BACK & BOTTOM.
- 5/8" MELAMINE CABINET BACK AND
BOTTOM C/M PVC EDGING.
- 4" RUBBER BASE ON
WOOD BASE BLOCKING



8 A7.3 VANITY MILLWORK ELEVATION
SCALE: 3/4"=1'-0"
BATH VANITY - SUITE "B" BARRIER-FREE



9 A7.3 VANITY MILLWORK SECTION
SCALE: 3/4"=1'-0"
BATH VANITY - SUITE "B" BARRIER-FREE



10 A7.3 VANITY MILLWORK ELEVATION
SCALE: 3/4"=1'-0"
BATH VANITY - SUITE "B" BARRIER-FREE

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NO. DESCRIPTION	DATE	BY
DRAWING ISSUE NUMBER / REVISIONS		

STAMPS:

CLIENT:

SPAN WEST
SASKATOON, SK

PROJECT:

OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE

BF Millwork Details

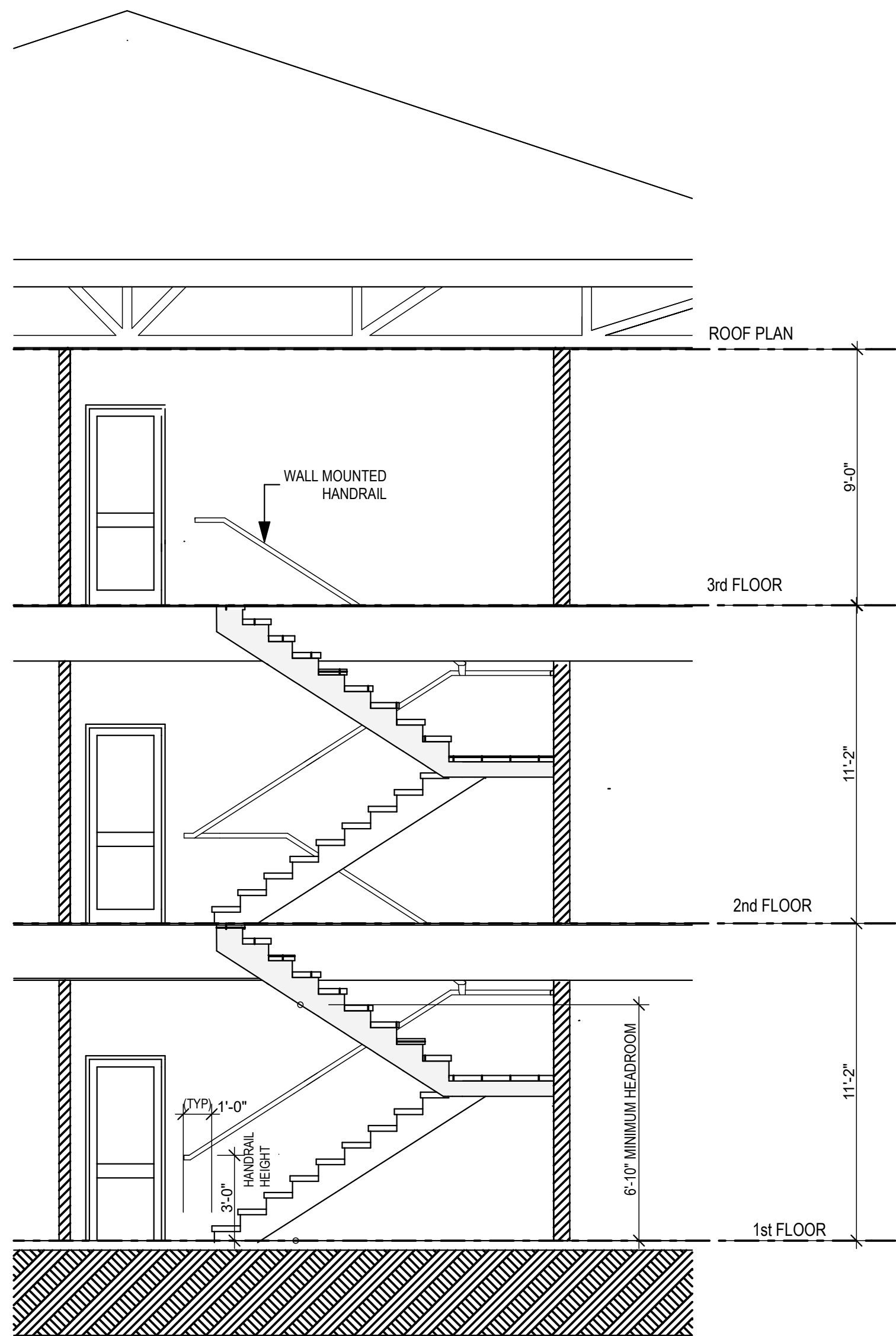
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SHEET 26

A-7.3

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7
A9.1
STAIR SECTION AA2
SCALE: 1/4" = 1'-0"

INTERIOR STAIR INFORMATION:

NATIONAL BUILDING CODE OF CANADA 2010 - 3.4.6.

RISE: 7" MAX

RUN: 11"

NOSING: 1"

TREAD: 12"

STAIR FLIGHT

STAIR #1 - 4'-1/2" WIDE

STAIR #2 - 3'-9 1/2" WIDE

CODE REFERENCES:

3.4.3.4. (1) EVERY EXIT SHALL HAVE A HEADROOM CLEARANCE OF NOT LESS THAN 6'-10" (2,050 MM).

3.4.6.1. SLIP RESISTANCE FOR STAIRS

THE SURFACE OF LANDINGS AND TREADS SHALL HAVE A FINISH THAT IS SLIP RESISTANT AND SHALL HAVE EITHER A COLOUR CONTRAST OR A DISTINCTIVE PATTERN TO DEMARCATÉ THE LEADING EDGE OF THE TREAD AND THE LEADING EDGE OF THE THE LANDINGS.

3.4.3.2. (8) EXIT CORRIDOR WIDTH 3'-7" (1,100 MM) MIN.

3.4.6.11. (1) THE DISTANCE BETWEEN A STAIR RISER AND THE LEADING EDGE OF A DOOR DURING THE SWING SHALL BE NOT LESS THAN 12" (300 MM).

3.4.6.4 (1) THE LENGTH AND WIDTH OF A LANDING SHALL BE AT LEAST THE WIDTH OF THE STAIRWAY IN WHICH IT OCCURS.

HANDRAILS:

3.4.6.5. (1) A STAIRWAY SHALL HAVE A HANDRAIL ON AT LEAST ONE SIDE

3.4.6.5. (4) HEIGHT OF HANDRAIL ABOVE STAIR = 2'-10" (34") TO 3'-2" (38").

3.4.6.5. (11) CLEARANCE FROM RAIL TO SMOOTH WALL NOT LESS THAN 2". CLEARANCE FROM RAIL TO ROUGH WALL NOT LESS THAN 2 1/2".

BARRIER-FREE INFORMATION:

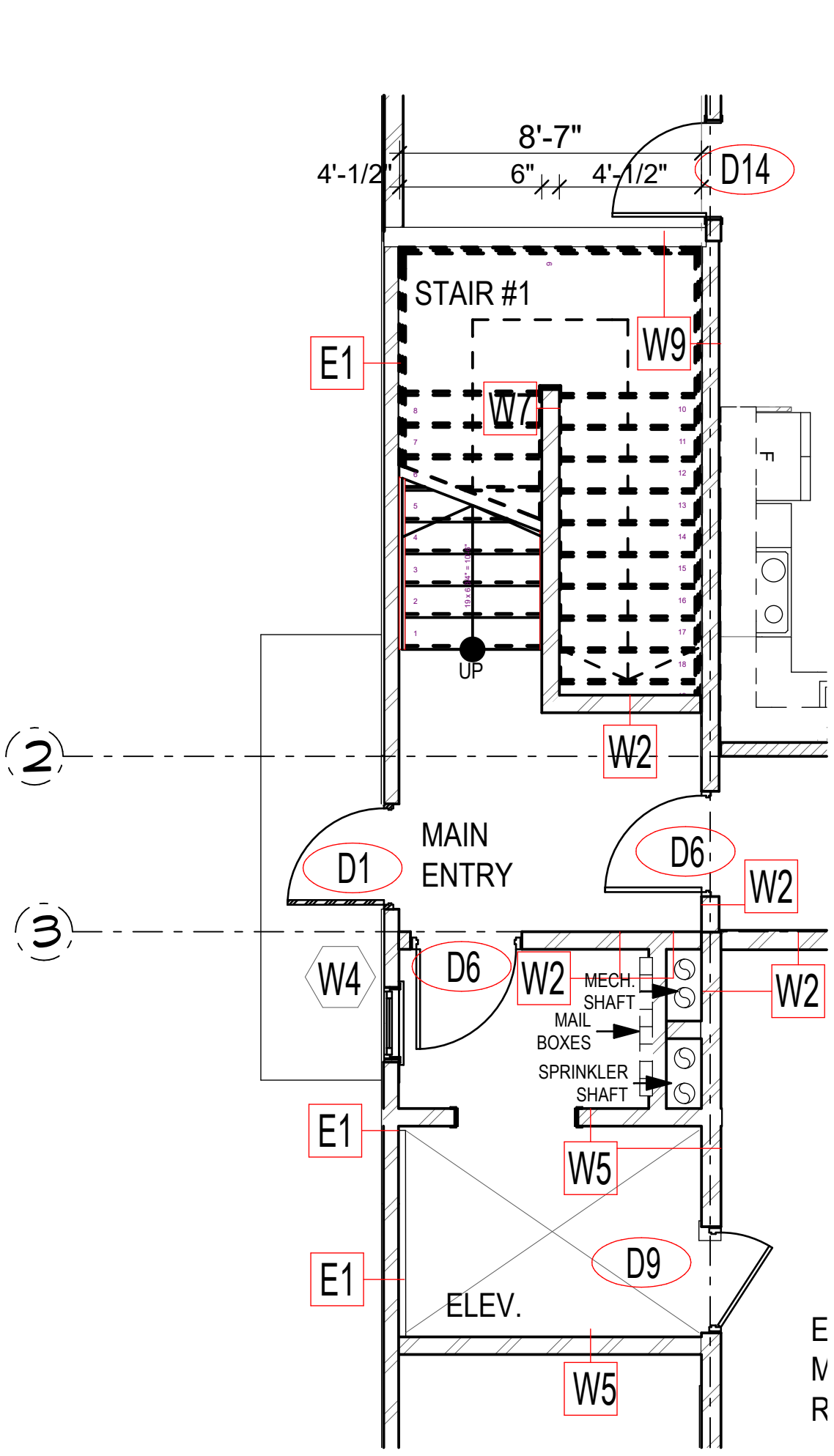
CODE 3.4.6.19. FLOOR NUMBERING. ARABIC NUMERALS INDICATING THE ASSIGNED FLOOR NUMBER SHALL BE:

A) MOUNTED PERMANENTLY ON THE STAIR SIDE OF THE WALL AT THE LATCH SIDE OF DOORS TO EXIT STAIR SHAFTS.

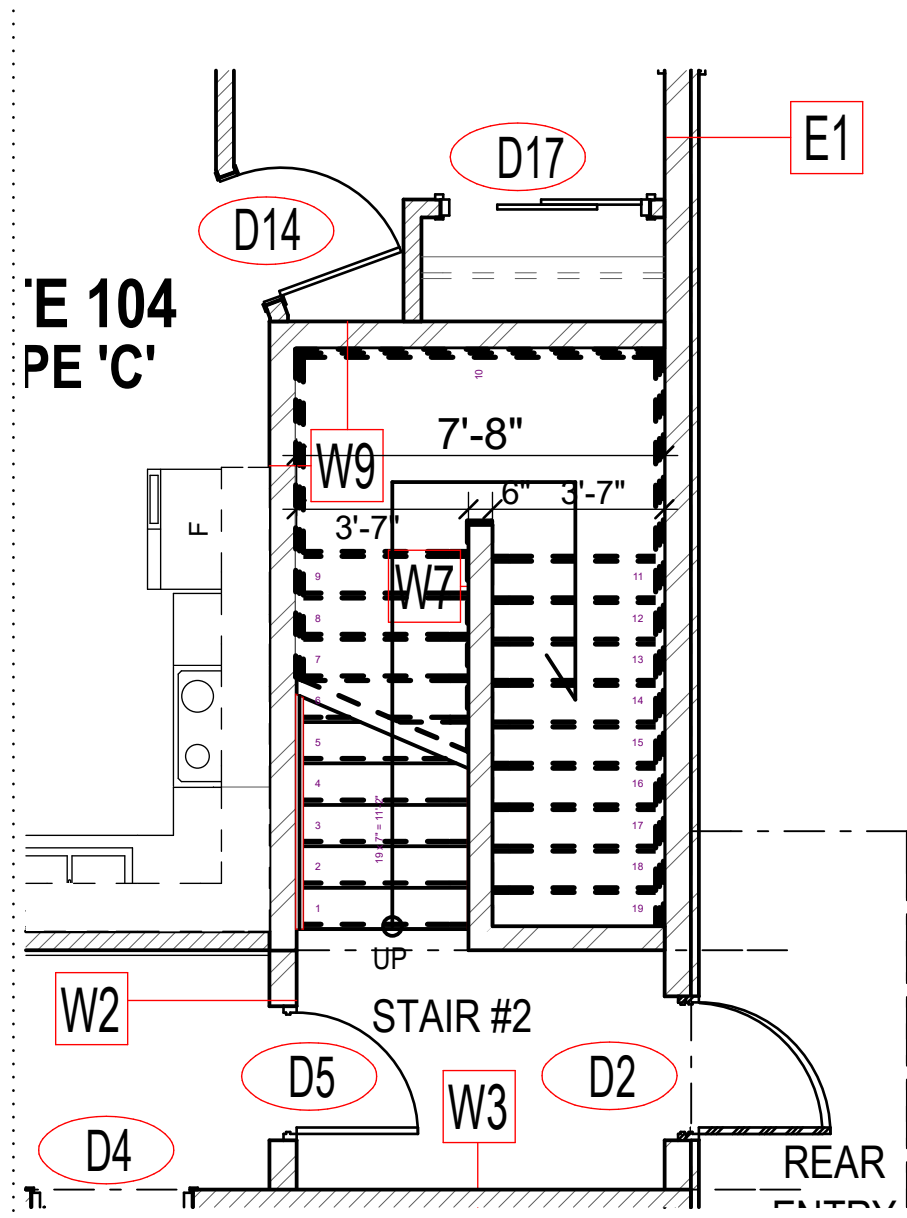
B) BE NOT LESS THAN 2 1/2" HIGH, RAISED ABOVE THE SURFACE.

C) BE LOCATED 59" (1,500 MM) FROM THE FINISHED FLOOR AND NOT MORE THAN 11" (300 MM) FROM THE DOOR, AND

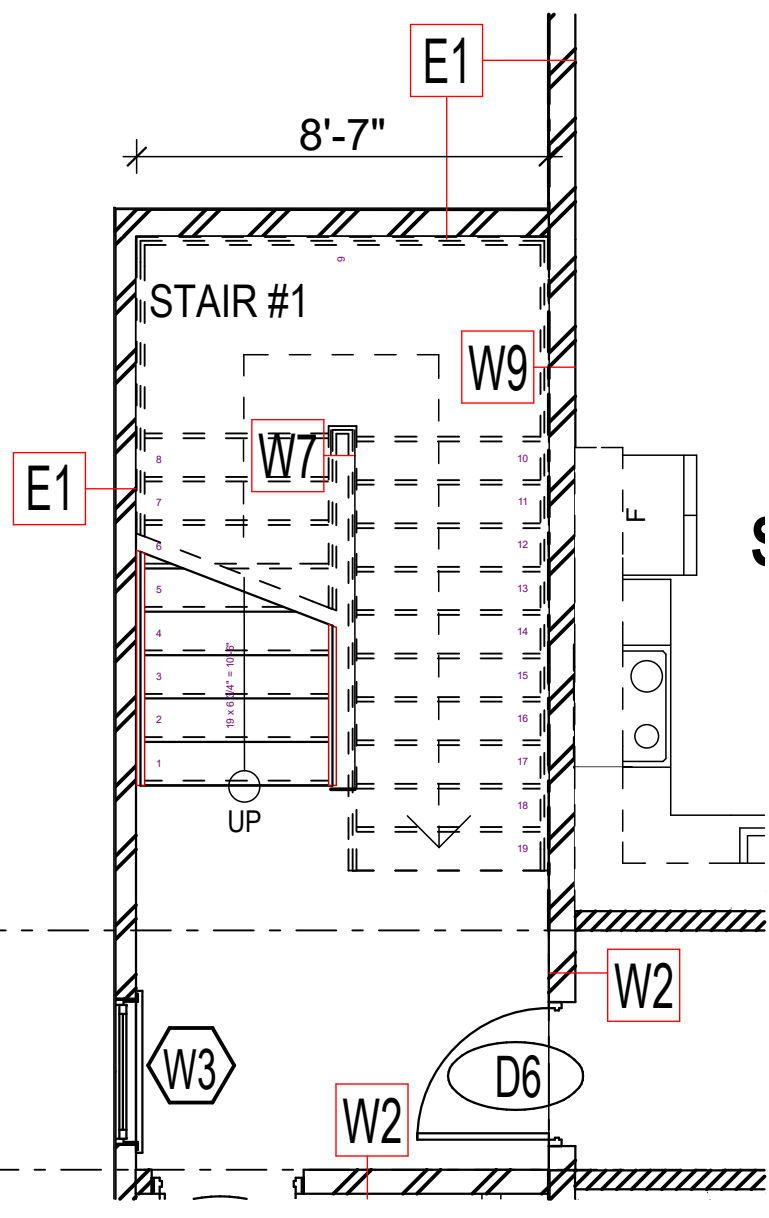
D) BE OF A CONTRASTING COLOUR WITH THE SURFCE TO WHICH THEY ARE APPLIED.



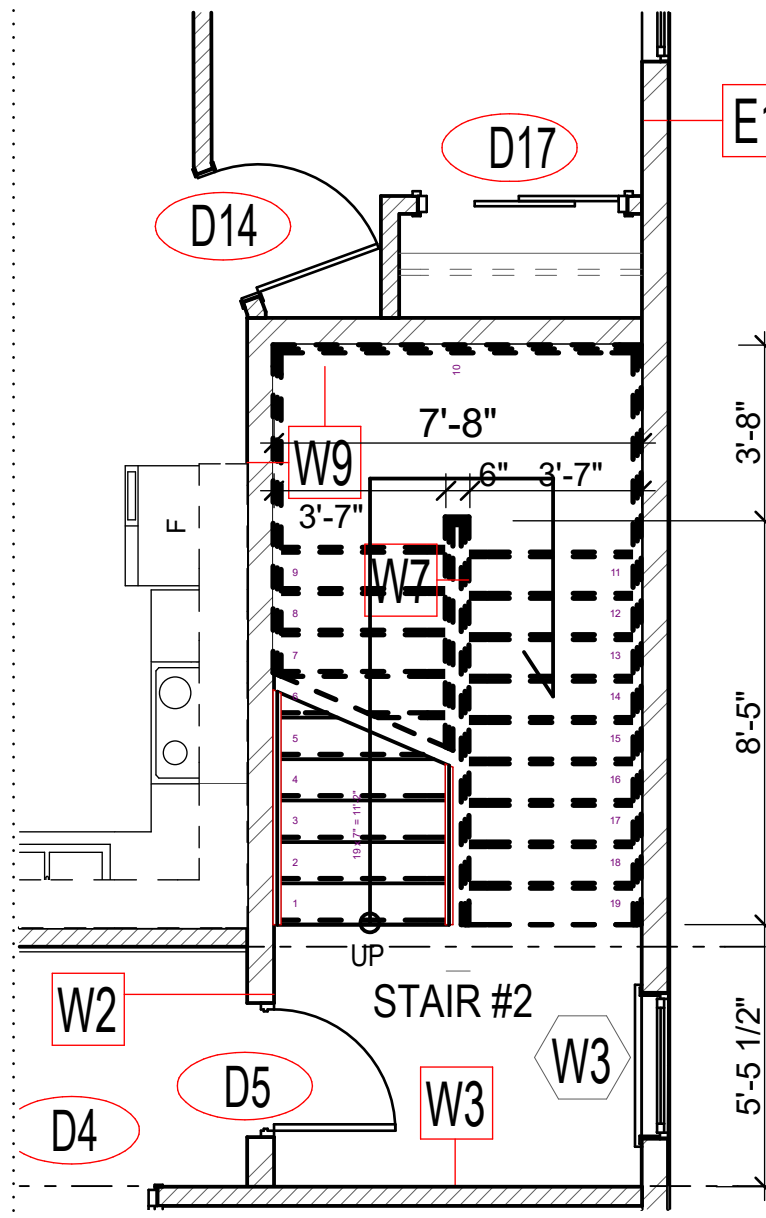
1
A9.1
MAIN FLOOR STAIR #1 PLAN
SCALE: 1/4" = 1'-0"



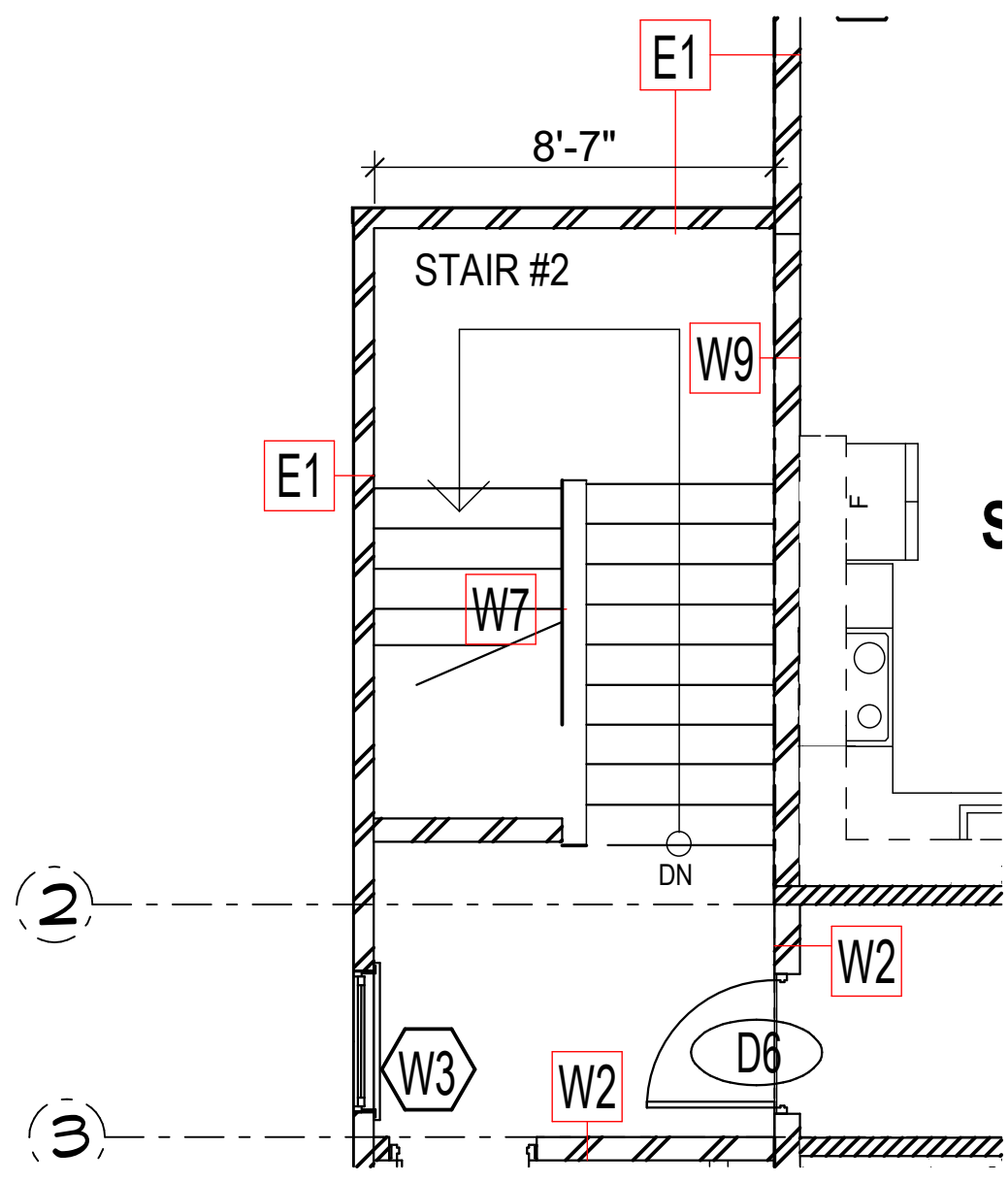
2
A9.1
MAIN FLOOR STAIR #2 PLAN
SCALE: 1/4" = 1'-0"



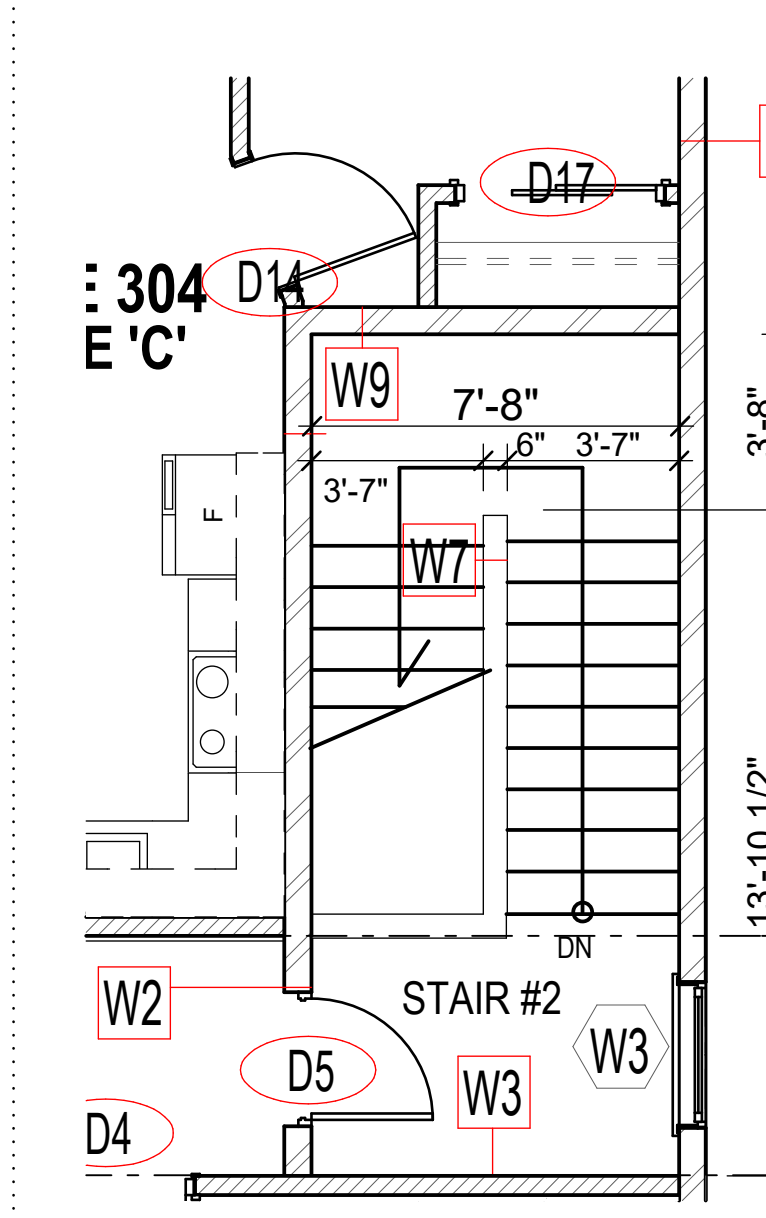
3
A9.1
2ND FLOOR STAIR #1 PLAN
SCALE: 1/4" = 1'-0"



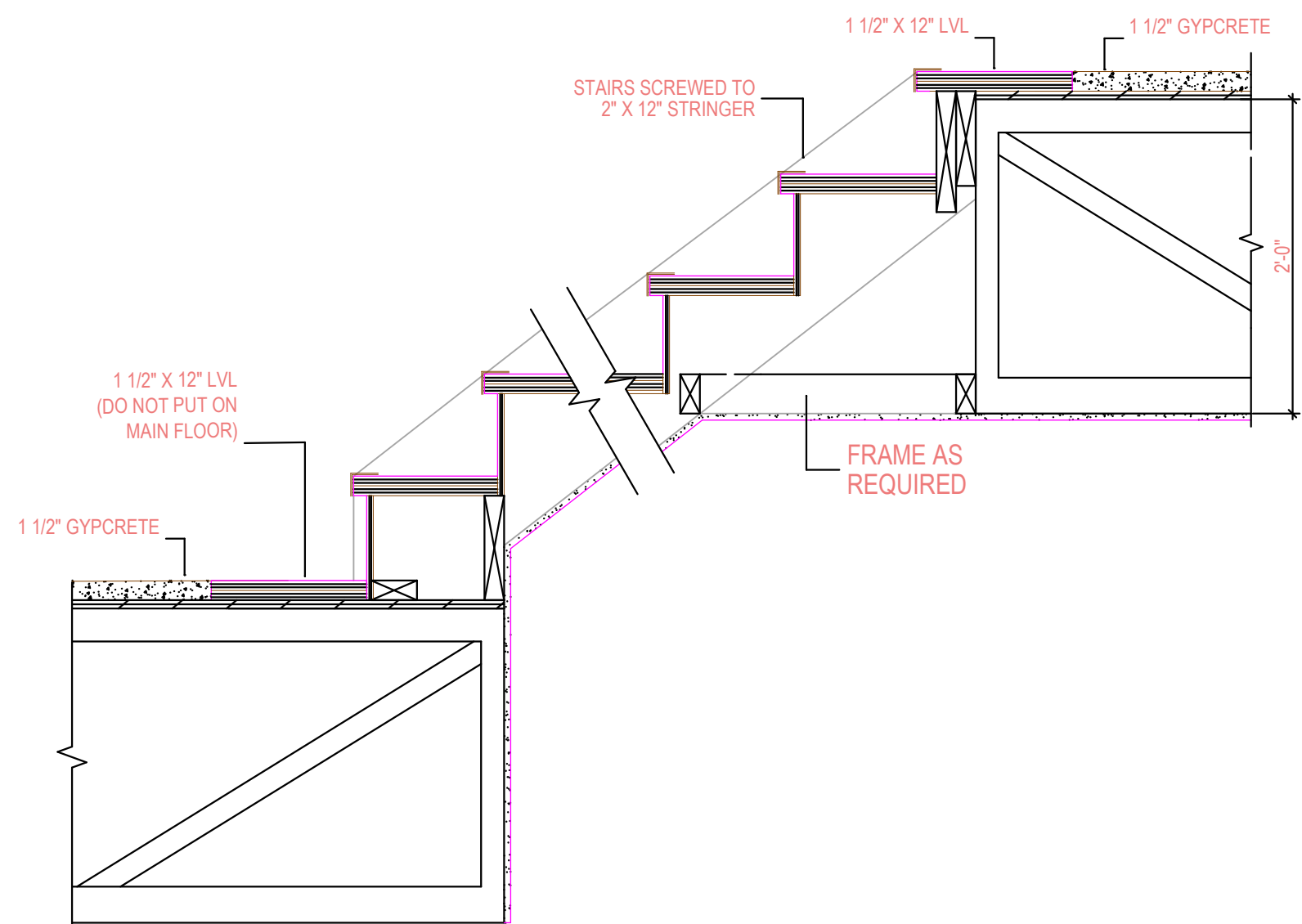
4
A9.1
2ND FLOOR STAIR #2 PLAN
SCALE: 1/4" = 1'-0"



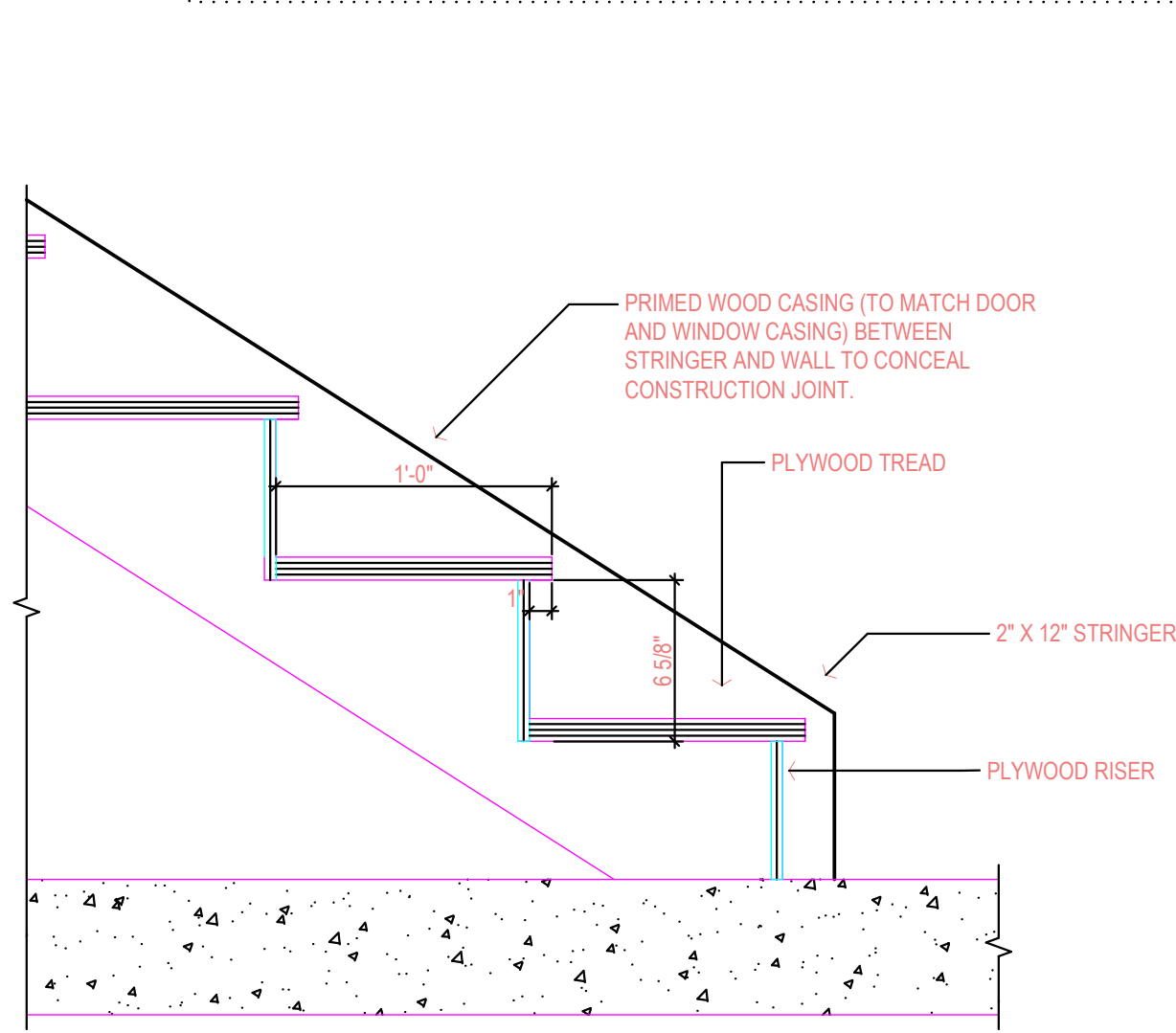
5
A9.1
3RD FLOOR STAIR #1 PLAN
SCALE: 1/4" = 1'-0"



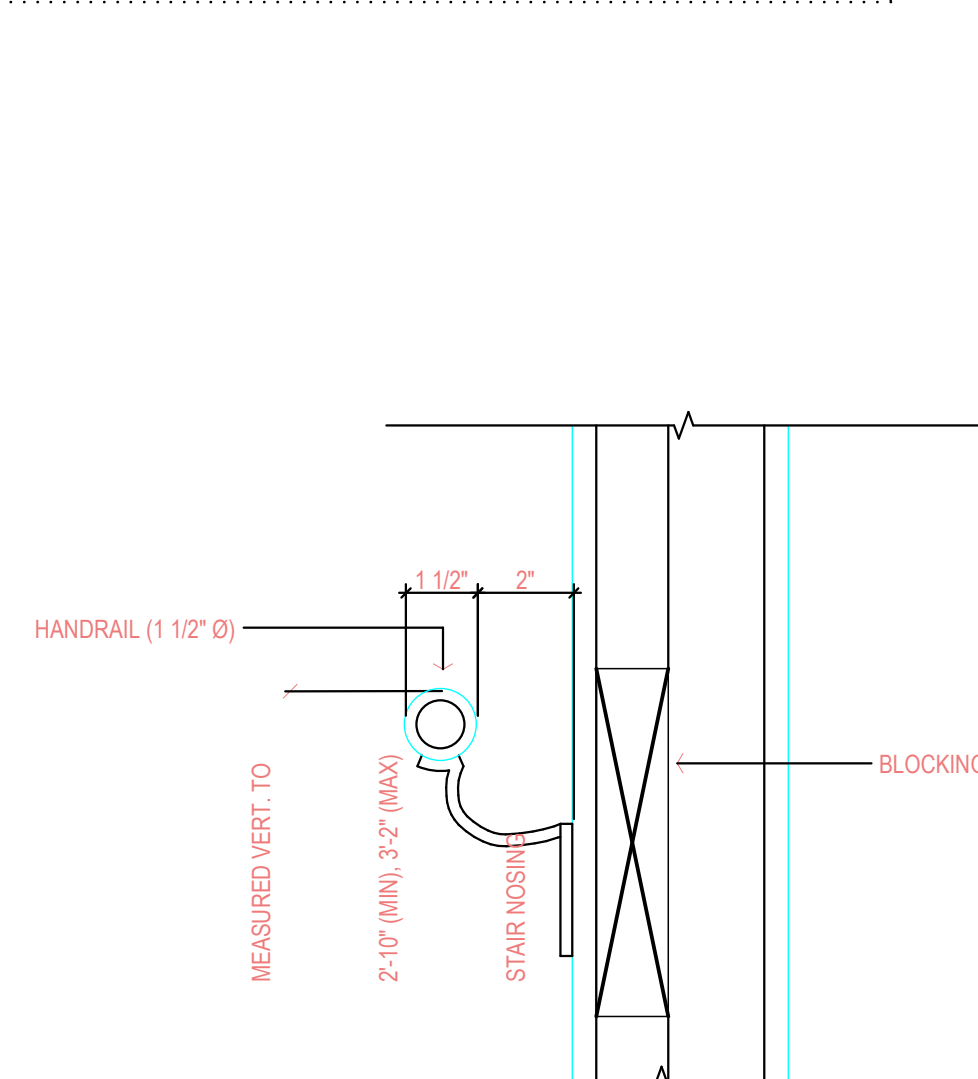
6
A9.1
3RD FLOOR STAIR #2 PLAN
SCALE: 1/4" = 1'-0"



8
A9.1
STAIR ATTACHMENT DETAIL
SCALE: 1 1/2" = 1'-0"



9
A9.1
STAIR DETAIL
SCALE: 1 1/2" = 1'-0"



10
A9.1
WALL MOUNTED HANDRAIL DETAIL
SCALE: 3" = 1'-0"

ISSUED FOR BUILDING PERMIT	APR. 12/24	LAS
NO. DESCRIPTION	DATE	BY
DRAWING ISSUE NUMBER / REVISIONS		

STAMPS:

CLIENT:
SPAN WEST
SASKATOON, SK

PROJECT:
OSOYOOS APARTMENTS
Osoyoos, B.C.

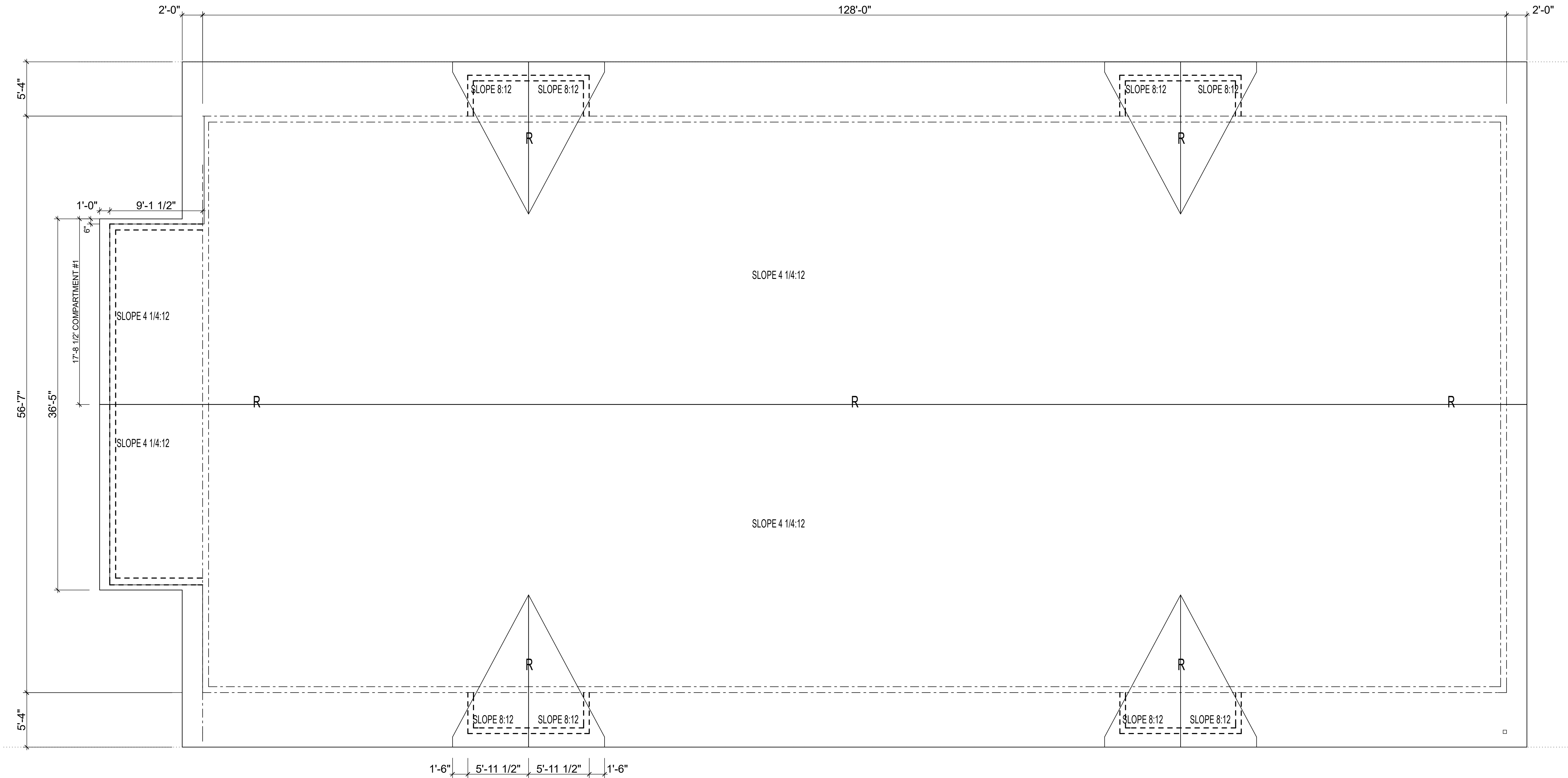
TITLE
STAIR PLANS, SECTION &
DETAILS

SCALE:
DATE:
DRAWN BY:
CHKD BY:
FILE NO:

SHEET 27

A9.1

J:\Projects\2020\20-013 Remai, Condo - Osoyoos, BC\5-Osoyoos Apt Current (ArchiCAD)\1-Osoyoos Apt. Current\0-Osoyoos ArchiCAD\1-Remai 24 Unit Apartment Current Set.pln



1
A9.3

MAIN ROOF PLAN

SCALE: 3/16" = 1'-0"

NOTE: SEE DRAWING A2.2 FOR CANOPY ROOFS & MANAGER OFFICE ROOF



GENERAL NOTES:

1. ALL CONSTRUCTION AND RELATED WORK SHALL COMPLY WITH THE 2018 EDITION OF THE BRITISH COLUMBIA BUILDING CODE, LOCAL BYLAWS AND REGULATIONS.
2. ONE FULL SET OF APPROVED CONSTRUCTION DOCUMENTS IS TO BE KEPT ON SITE AND AVAILABLE FOR CHECKING AT ALL TIMES DURING CONSTRUCTION.
3. ENSURE ACCESS TO ALL FIRE EXITS ARE MAINTAINED DURING CONSTRUCTION.
4. ALL DIMENSIONS ARE FROM FACE OF STUD, FACE OF GIRTS, FACE OF CONCRETE, FACE OF BLOCK OR CENTRE LINE OF GRID UNLESS NOTED OTHERWISE. FOR STRUCTURAL DRAWINGS, ALL INTERIOR DIMENSIONS ARE FROM CENTRE LINE OF WALL, CENTRE LINE OF CONCRETE PILE, CENTRE LINE OF CONCRETE FOOTING, CENTRE LINE OF STEEL OR CENTRE LINE OF GRID UNLESS NOTED OTHERWISE.
5. DRAWINGS ARE NOT TO BE SCALED FOR SIZES OR DIMENSIONS.
6. REFER TO CONTRACT DOCUMENTS FOR SPECIFIC INCLUSIONS.
7. THE USE OF THESE DRAWINGS IS LIMITED TO THAT IDENTIFIED IN THE REVISION COLUMN. DO NOT USE THESE DRAWINGS FOR CONSTRUCTION UNLESS THEY ARE MARKED 'ISSUED FOR CONSTRUCTION'.
8. THE ENGINEER(S) / ARCHITECT(S) ARE RESPONSIBLE ONLY FOR ITEMS NOTED ON THIS DRAWING.
9. THE ENGINEER(S) / ARCHITECT(S) DO NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR METHODS, CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES, FOR SAFETY PRECAUTION AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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	ISSUED FOR BUILDING PERMIT	APR. 12/24	LAS
NO.	DESCRIPTION	DATE	BY
DRAWING ISSUE NUMBER / REVISIONS			

STAMPS:

CLIENT:

SPAN WEST
SASKATOON, SK

PROJECT:

OSOYOOS APARTMENTS
Osoyoos, B.C.

TITLE

MAIN ROOF PLAN

SCALE:
DATE:
DRAWN BY:
CHKD BY:
FILE NO:

SHEET 29

A9.3