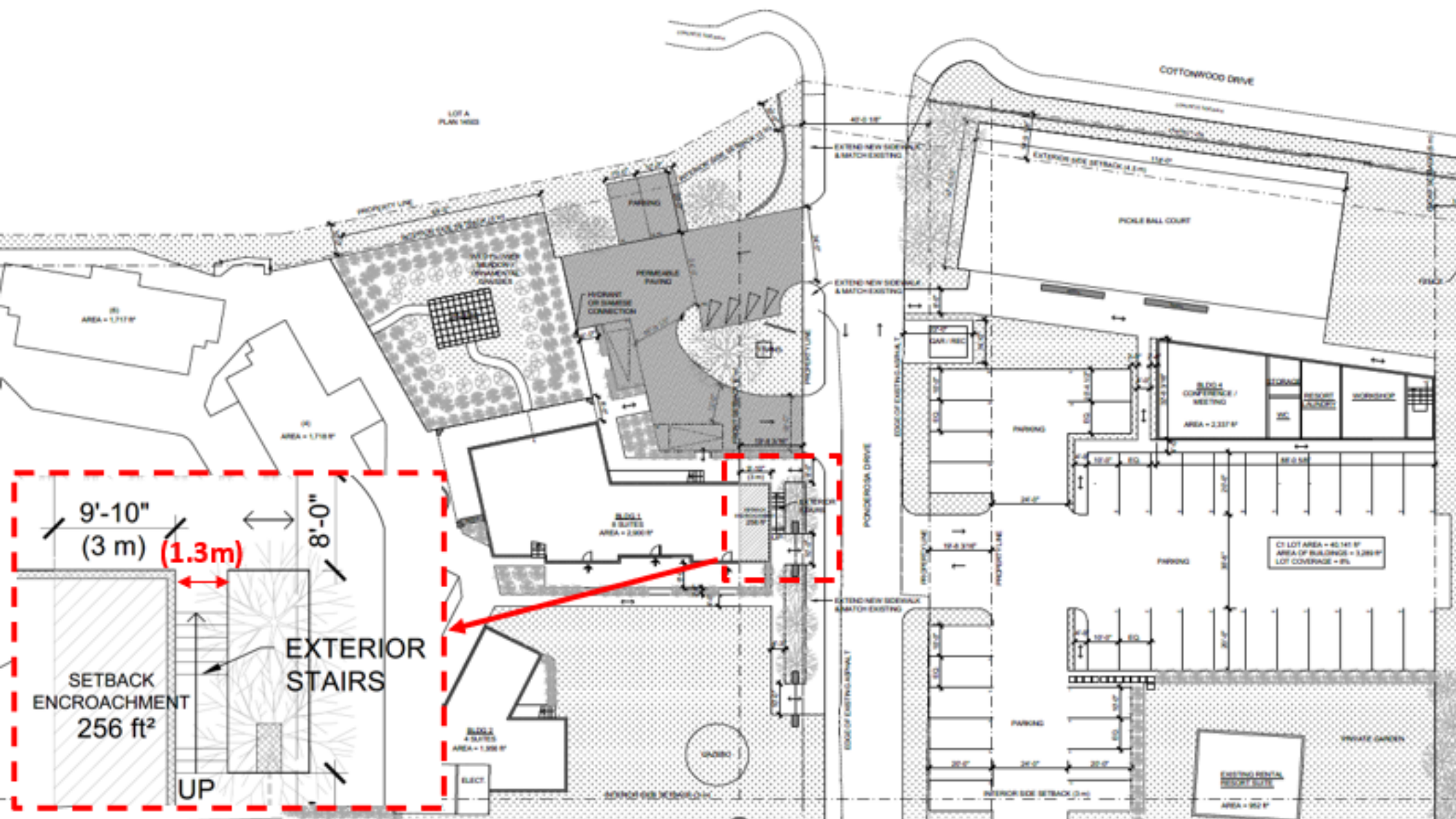




- (1) LOT 1, DL 40, SDYD, PLAN 3299
- (2) LOT 2, DL 40, SDYD, PLAN 3299
- (3) LOT 3, DL 40, SDYD, PLAN 3299
- (4) LOT 4, DL 40, SDYD, PLAN 3299
- (5) LOT 16, DL 40, SDYD, PLAN 3299,
EXCEPT PLAN 14503.

PID: (4) 010-860-884 (5) 010-861-009
CHARGES: (1) NONE (2) NONE (3) NONE (4) NONE
(5) SRW# LB504793, LB504794

NOTE: ONLY LAND BASED CHARGES HAVE BEEN SHOWN.
OTHER FINANCIAL CHARGES MAY EXIST ON THE SUBJECT PARCELS.

25 12.5 0 25

ALL DISTANCES ARE IN FEET

THE INTENDED SIZE OF THIS PLAN IS 560 mm
IN WIDTH BY 864 mm IN HEIGHT (D SIZE)
WHEN PLOTTED AT A SCALE OF 1" = 20'

CLIENT: GARY EYRE
SANDY BEACH SUITES LTD.

FIELD SURVEY DATE: MAY 17, 2021
PLAN DATE: MAY 17, 2021

LOT DIMENSIONS ARE DERIVED
FROM LAND TITLE OFFICE RECORDS
PLANS EPP01170, EPP20087 & KAP43882
BEARINGS ARE UTM GRID, ZONE 11
ELEVATIONS SHOWN ARE GEODETIC (IN FEET),
DATUM CGVD 28 (HTV2.0).

THIS DRAWING IS FOR THE EXPRESS
PURPOSE OF DESIGNING FUTURE DEVELOPMENT
ONLY, AND IS FOR THE EXCLUSIVE
USE OF THE CLIENT SHOWN.

DIMENSIONS SHOWN ARE NOT TO BE USED TO
DEFINE BOUNDARIES OR PROPERTY CORNERS.

BLDG	BUILDING ELEVATIONS		
	FLOOR	EAVES	PEAK
A	918.2	925.0	928.7
B	918.2	926.0	928.7
C	918.2	926.0	928.7
D	919.8	927.9	932.0
E	921.0	939.3	945.3
F	921.0	939.3	945.3
G	921.0	939.3	945.3
H	921.0	939.3	945.3
I	922.1	941.8	945.1



TOWN OF OSOYOOS
C3 & C4 ZONING REQUIREMENTS

FRONT YARD: 6.0m
 REAR YARD: 6.0m
 REAR YARD (ON LAKE): 7.5m
 INTERIOR SIDE YARD: 3.0m
 EXTERIOR SIDE YARD: 4.5m
 FLOODPLAIN ELEVATION: 280.70m AT UNDERSIDE OF FLOOR

LIST OF NON-CONFORMING ASPECTS

FRONT YARD SETBACK: BUILDING A
SIDE YARD SETBACK: BUILDINGS A, B, C, D, E, H, RESIDENCES (2) & GARAGE
FLOODPLAIN ELEVATION: BUILDINGS A, B, C, D, E, F, G, H, RESIDENCES (2) & GARAGE

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